

Public Document Pack



To: Councillor Boulton, Convener; Councillor Alan Donnelly, the Depute Provost ;
and Councillors Cameron, Cooke and Nicoll.

Town House,
ABERDEEN 20 September 2017

LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL

The Members of the **LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL** are requested to meet in **Committee Room 4 - Town House** on **THURSDAY, 28 SEPTEMBER 2017 at 2.00 pm.**

FRASER BELL
HEAD OF LEGAL AND DEMOCRATIC SERVICES

B U S I N E S S

- 1 Procedure Notice (Pages 5 - 6)

COPIES OF THE RELEVANT PLANS / DRAWINGS ARE AVAILABLE FOR INSPECTION IN ADVANCE OF THE MEETING AND WILL BE DISPLAYED AT THE MEETING

MEMBERS PLEASE NOTE THAT THE FOLLOWING LINK WILL TAKE YOU TO THE LOCAL DEVELOPMENT PLAN.

[Local Development Plan](#)

TO REVIEW THE DECISION OF THE APPOINTED OFFICER TO REFUSE THE FOLLOWING APPLICATION

PLANNING ADVISER - ANDREW MILLER

2.1 1 Northcote Crescent - Formation of Straight Gable and Dormer Windows to front and rear - 170635

2.2 Delegated Report, Plans, Decision Notice and one letter of representation (Pages 7 - 24)

Members, please note that the relevant plans can be viewed online:-

<https://publicaccess.aberdeencity.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>

2.3 Planning policies referred to in documents submitted

Members, the following planning policies are referred to:-

Aberdeen Local Development Plan 2017

- Policy D1 – Quality Placemaking by Design
- Policy H1 – Residential Areas

Other relevant material considerations

Supplementary Guidance – Householder Development Guide

The policies can be viewed at the following link:-

http://www.aberdeencity.gov.uk/planning_environment/planning/local_development_plan/pla_local_development_plan.asp

2.4 Notice of Review with initial application and supporting information submitted by applicant / agent (Pages 25 - 72)

2.5 Determination - Reasons for decision

Members, please note that reasons should be based against Development Plan policies and any other material considerations.

2.6 Consideration of conditions to be attached to the application - if Members are minded to over-turn the decision of the case officer

Website Address: www.aberdeencity.gov.uk

Should you require any further information about this agenda, please contact Lynsey McBain on lymcbain@aberdeencity.gov.uk / tel 01224 522123

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LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL

PROCEDURE NOTE

GENERAL

1. The Local Review Body of Aberdeen City Council (the LRB) must at all times comply with (one) the provisions of the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2008 (the regulations), and (two) Aberdeen City Council's Standing Orders.
2. In dealing with a request for the review of a decision made by an appointed officer under the Scheme of Delegation adopted by the Council for the determination of "local" planning applications, the LRB acknowledge that the review process as set out in the regulations shall be carried out in stages.
3. As the first stage and having considered the applicant's stated preference (if any) for the procedure to be followed, the LRB must decide how the case under review is to be determined.
4. Once a notice of review has been submitted interested parties (defined as statutory consultees or other parties who have made, and have not withdrawn, representations in connection with the application) will be consulted on the Notice and will have the right to make further representations within 14 days.
Any representations:
 - made by any party other than the interested parties as defined above (including those objectors or Community Councils that did not make timeous representation on the application before its delegated determination by the appointed officer) or
 - made outwith the 14 day period representation period referred to abovecannot and will not be considered by the Local Review Body in determining the Review.
5. Where the LRB consider that the review documents (as defined within the regulations) provide sufficient information to enable them to determine the review, they may (as the next stage in the process) proceed to do so without further procedure.
6. Should the LRB, however, consider that they are not in a position to determine the review without further procedure, they must then decide which one of (or combination of) the further procedures available to them in terms of the regulations should be pursued. The further procedures available are:-
 - (a) written submissions;
 - (b) the holding of one or more hearing sessions;
 - (c) an inspection of the site.

7. If the LRB do decide to seek further information or representations prior to the determination of the review, they will require, in addition to deciding the manner in which that further information/representations should be provided, to be specific about the nature of the information/representations sought and by whom it should be provided.
8. In adjourning a meeting to such date and time as it may then or later decide, the LRB shall take into account the procedures outlined within Part 4 of the regulations, which will require to be fully observed.

DETERMINATION OF REVIEW

9. Once in possession of all information and/or representations considered necessary to the case before them, the LRB will proceed to determine the review.
10. The starting point for the determination of the review by the LRB will be Section 25 of the Town and Country Planning (Scotland) Act 1997, which provides that:-

“where, in making any determination under the planning Acts, regard is to be had to the Development Plan, the determination shall be made in accordance with the Plan unless material considerations indicate otherwise.”
11. In coming to a decision on the review before them, the LRB will require:-
 - (a) to consider the Development Plan position relating to the application proposal and reach a view as to whether the proposal accords with the Development Plan;
 - (b) to identify all other material considerations arising (if any) which may be relevant to the proposal;
 - (c) to weigh the Development Plan position against the other material considerations arising before deciding whether the Development Plan should or should not prevail in the circumstances.
12. In determining the review, the LRB will:-
 - (a) uphold the appointed officers determination, with or without amendments or additions to the reason for refusal; or
 - (b) overturn the appointed officer’s decision and approve the application **with or without appropriate conditions.**
13. The LRB will give clear reasons for its decision in recognition that these will require to be intimated and publicised in full accordance with the regulations.

Report of Handling Detailed Planning Permission

170635/DPP: Formation of straight gable and dormer windows to front and rear at 1 Northcote Crescent, Aberdeen, AB15 7TE

For: Mr & Mrs Ryan Swan

Application Date:	2 June 2017
Officer:	Sheila Robertson
Ward:	Airyhall/Broomhill/Garthdee
Community Council:	Braeside And Mannofield
Advertisement:	N/A
Advertised Date:	N/A

RECOMMENDATION: Refuse

SITE DESCRIPTION

The application relates to a semi-detached dwelling house which has the appearance of a single storey dwelling house with roof lights providing accommodation at first floor level. The property is of a hipped roofed dwelling house, of mid 20thc design and build, extended to the rear by a flat roofed extension, located on the south-east side of Northcote Crescent and finished with Fyfe stone, render and grey/ brown roof tiles. There is a single roof light on the front, side and rear elevations of the property. There is a garage within the side garden and parking for a number of cars to the front. The pair of semis including the application property occupies a prominent position at the eastern entrance to Northcote Crescent from Northcote Avenue and is set at an angle to the street, facing north east, while the neighbouring properties to the west face north-west. There are a number of properties along Northcote Avenue, at its junctions with Northcote Crescent, and a number of properties accessed from Northcote Avenue further south which are of a similar size and design to the application dwelling.

DESCRIPTION OF PROPOSAL

Planning permission is sought to (a) build up the wall head of the existing gable to form a straight gable and (b) add box dormers to both front and rear elevations. The proposal would add a third bedroom and new shower room to the existing upper floor. A single storey replacement extension is also proposed to the rear elevation however its dimensions and location are such that it constitutes 'permitted development' and does not need to be assessed as part of this application.

The wall head would be built up to form a straight gable, the eaves and roof ridge tying in with existing. The dwelling house would be re-rendered with a smooth white

APPLICATION REF: 170635/DPP

finish and the new gable finished to match existing. The roof would be replaced with grey roof tiles to match the existing tile profile and the extension finished to match.

To the front elevation, the dormer would extend 6m across the roof to within 600mm and 400mm of the new gable and boundary separating the pair of semis, respectively. It would be positioned approximately 800mm down from the roof ridge and 750mm up from eaves. The rear dormer would be of identical dimensions and position within the roof slope. The cheeks of the dormers would be finished with grey tiles.

RELEVANT HISTORY

None

SUPPORTING DOCUMENTS

All drawings and supporting documents listed below can be viewed on the Council's website at <https://publicaccess.aberdeencity.gov.uk/online-applications/>

CONSULTATIONS

None

REPRESENTATIONS

One letter has been received expressing support for the proposal. The representation commented that they were supportive of the front elevation proposals, which are similar to a number of properties in the surrounding area.

PLANNING POLICY

Aberdeen Local Development Plan 2017

- Policy D1 – Quality Placemaking by Design
- Policy H1 – Residential Areas

Other relevant material considerations

- Supplementary Guidance – Householder Development Guide

EVALUATION

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that where, in making any determination under the planning acts, regard is to be had to the provisions of the Development Plan and that determination shall be made in accordance with the plan, so far as material to the application unless material considerations indicate otherwise.

Principle of development

The application site is located within an area zoned for residential use in the adopted Aberdeen Local Development Plan, and relates to an existing dwelling house. The proposal is therefore acceptable in principle subject to an acceptable form and appearance. In determining what constitutes acceptable development, the aforementioned local planning policies and associated supplementary guidance are of relevance.

Design and Scale

General principles expect that all domestic extensions should be architecturally compatible in design and scale with the original house and surrounding area, materials should be complementary and any development should not overwhelm or dominate the original form or appearance of the dwelling house.

The proposal complies with certain elements of Policy D1 and the Supplementary Guidance. The alteration to the gable and new dormers would not result in an increase in the current built site coverage (although the site area would increase as a result of the extension which is deemed as permitted development). The proposed render finish would be acceptable and, although it is stated that the roof would be replaced by tiles of identical profile, had the Planning Authority been minded to grant Planning Permission for this application it would have been subject to an appropriate condition requiring samples of the proposed tiles to be submitted to, and approved by the Planning Authority, prior to development, to ensure visual uniformity between the adjoining roof. The extension's ridge and eaves height would be equal to the existing house thereby respecting its current scale.

However, the Householder Development Guide states that modifying only one half of a hipped roof is likely to result in the roof/ building having an unbalanced appearance. The practice of extending a hipped roof on one half of a pair of semi-detached houses to terminate at a raised gable would not generally be accepted unless the other half of the building has already been altered in this way or such a proposal would not, as a result of the existing streetscape and the character of the buildings therein, result in any adverse impact on the character or visual amenity of the wider area. The SG further states that any development approved prior to the adoption of the guidance cannot be considered as material justification for a proposal that does not otherwise comply. As the application property adjoins another property with an unaltered hipped roof, the proposal does not meet the criteria for the first exception and the proposal therefore falls to be assessed against the second.

In this case, the existing streetscape sees a consistent design theme and pattern of development of 2 pairs of facing, hipped roofed semi-detached properties (including the application property), set at an oblique angle to the street, at the eastern end of each of 3 parallel roads leading off Northcote Avenue – Northcote Crescent, and the 2 dead end sections of Northcote Avenue to the south - followed by pairs of higher, straight gabled semi - detached properties to both sides of the street. It is considered that there is a clear and overwhelming predominance of the original design character of hipped roof prevailing within this streetscape and is within this context that the application property has to be read, and assessed on its own merits. The original intended character of the immediate area (that of predominantly semi-detached properties with symmetrical, hipped roofs at the entrance to each successive street

accessed from Northcote Avenue) is currently retained and approval of this proposal would initiate design erosion that would result in an irretrievable loss of the character within this section of the streetscape. The introduction of a straight gable to one half of the pair of semis would introduce a disruptive form of architecture to an otherwise uniform design theme in addition to unbalancing a pair of semi-detached dwellings, and thereby would not make a positive contribution to its setting.

It is noted that progressing westwards along Northcote Crescent, the road turns sharp north west, where there are 3 pairs of originally fully hipped roofed properties to the south west side of the street, 3 properties having since formed straight gables. The application property is not visible in the context of these distant examples, therefore they do not form part of the immediate streetscape against which this application is read and is primarily assessed against.

To permit such an alteration would clearly disrupt the original character of the pattern of development. Equally, the fact that such alterations have been permitted in the past does not mean that these instances demonstrated a high level of design consciousness, or that the context was the same as this current situation. It is also important to point out that there has been a considerable change in approach by Aberdeen City Council in relation to design quality and a significant elevation in its importance in improving the quality of the environment of the city. It is accepted that there have been some less than ideal decisions in the past, based on today's standards, but it is important that these are not compounded and exacerbated such that the quality of place is further eroded.

While the principle of dormers is acceptable to both elevations, the proposed dormers fail to comply with the Householder Development Guide, which expects new dormers to be of appropriate scale and dimensions that respect the scale of the building and do not dominate or overwhelm the roof. In this case, the scale of the dormers would contribute to a bulky appearance that dominates the altered roof, which is particularly a concern for the front elevation, and would result in an adverse visual impact on the wider streetscape. The dimensions and subsequent dominance of the roof elevations would further exacerbate the imbalance with the adjoining semi and detract from the existing level of symmetry of both the application property and that demonstrated by several similar properties in the locality, all to the detriment of design quality. Both front and rear elevations of the application property are clearly visible from nearby streets, and approval of the proposal would negatively impact on the character of the wider streetscape. The reasons mentioned above demonstrate that the dormers have not been designed with due regard for their context, and would not make a positive contribution to the property's setting, as required by Policy D1 (Architecture and Placemaking) and would be contrary to the guidance contained in the associated Supplementary Guidance: Householder Development Guide. There are no material planning considerations that would warrant approval of the application contrary to this policy and guidance.

Impact on Residential Amenity

No extension or alteration should result in a situation where the amenity of any neighbouring properties would be adversely affected. Significant adverse impact on privacy, daylight and general amenity will count against a development proposal.

Calculations, based on the '45 degree rule' as set out in the British Research Establishment's Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice' indicate that neither the altered gable nor dormers would have a detrimental impact on neighbouring properties in terms of either daylight receipt or adverse overshadowing.

There would be a minimum separation distance of at least 27m between the proposed rear dormer and the nearest windows to the rear of properties on Northcote Avenue, which is well outwith the minimum separation distance of 18m required between facing windows to ensure internal privacy. In addition the proposed dormer would not be on the same plane or directly face any windows, its line of sight being slightly offset. There would be minimal additional overlooking of neighbouring rear gardens than exists at present from the upper windows of neighbouring properties to the rear; however it would be within an acceptable level. The dormer to the principle elevation would not result in any loss of privacy to the facing properties on the north side of Northcote Crescent, there being no direct line of sight.

Current residential amenity would be retained in compliance with Policy H1.

Conclusion

To summarise, whilst it is acknowledged that there are several properties to the opposite end of Northcote Crescent with approved planning applications for a hipped roof to gable extension, it is considered that in this instance, given the context and siting of the application property, which occupies a prominent location within the streetscape, and a number of similar road end properties on Northcote Avenue, the gable alteration would create an unbalanced look between the pair of semis. The principle of forming dormers to the front and rear elevations is acceptable, however it is considered that their scale and dimensions combined with the hipped roof to gable extension would overwhelm and dominate the original appearance of the dwelling house in a manner that fails to demonstrate due regard for its context or make a positive contribution to its setting by introducing an intrusive element to the streetscape, which would degrade the current pattern of development. For the aforementioned reasons, the proposal thereby fails to comply with the relevant policies and the associated supplementary guidance contained within the Adopted Aberdeen Local Development Plan and there are no material planning considerations that would warrant approval of this application.

RECOMMENDATION: Refuse

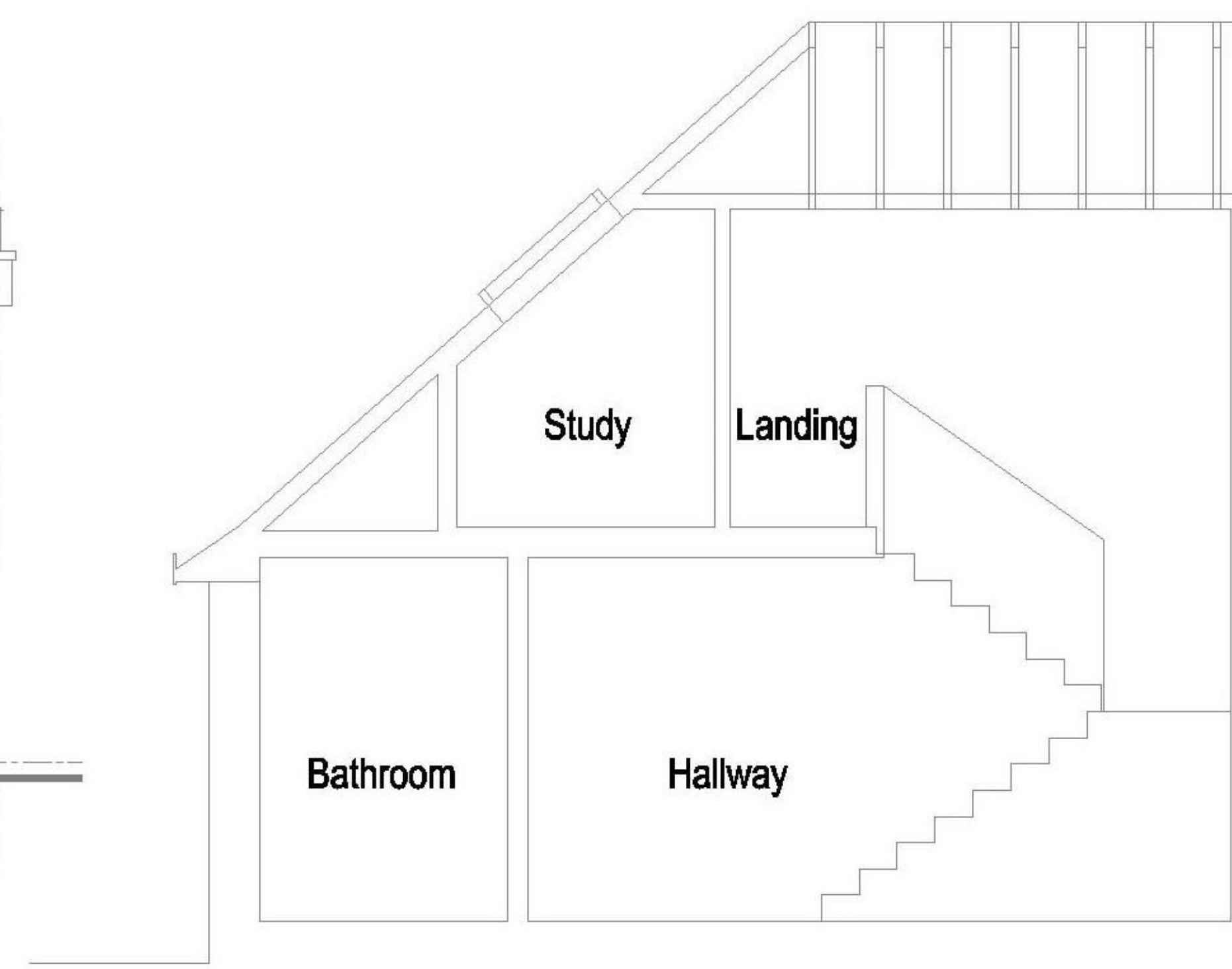
REASONS FOR RECOMMENDATION

The proposal does not comply with Policy D1 (Quality Placemaking by Design) and H1 (Residential Areas) of the Aberdeen Local Development Plan and the associated 'Householder Development Guide' Supplementary Guidance. It fails to demonstrate due regard for the design and context of the streetscape, particularly when viewed in the context of the road-end properties along Northcote Avenue, where properties are of a similar design and style to existing, as it would unbalance a pair of semi-detached houses and, by reason of the scale and dimensions of the proposed

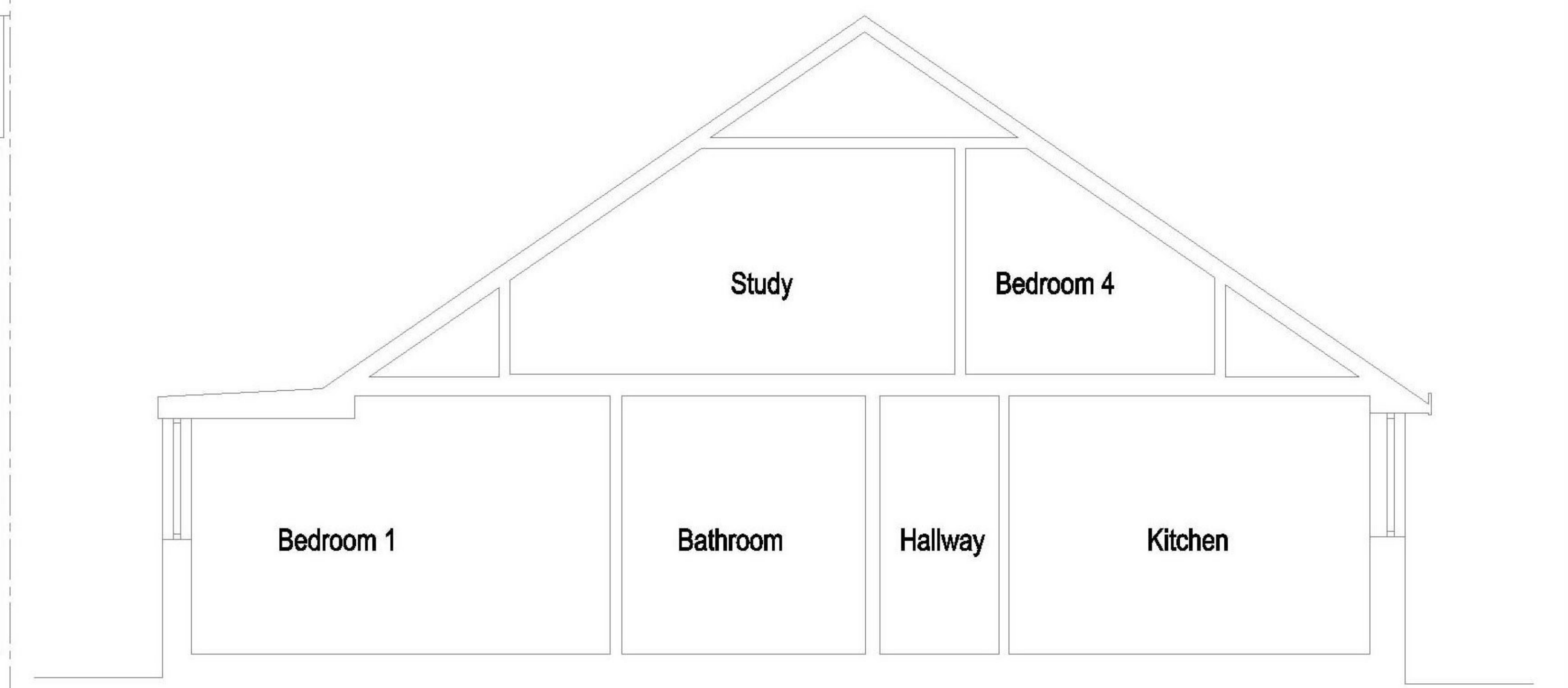
dormers, would create a top heavy and bulky roof elevation, which would introduce a visually disruptive feature into a streetscape that otherwise retains its original form, character and pattern of development. As a result the proposed development would appear out of context and would impose a negative design feature on the surrounding area. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that the proposal does not accord with Policies H1 (Residential Areas) and D1 (Quality Placemaking by Design) of the Aberdeen Local Development Plan as well as its associated Supplementary Guidance: Householder Development Guide. In this instance there are no material planning considerations that would warrant approval of the application.



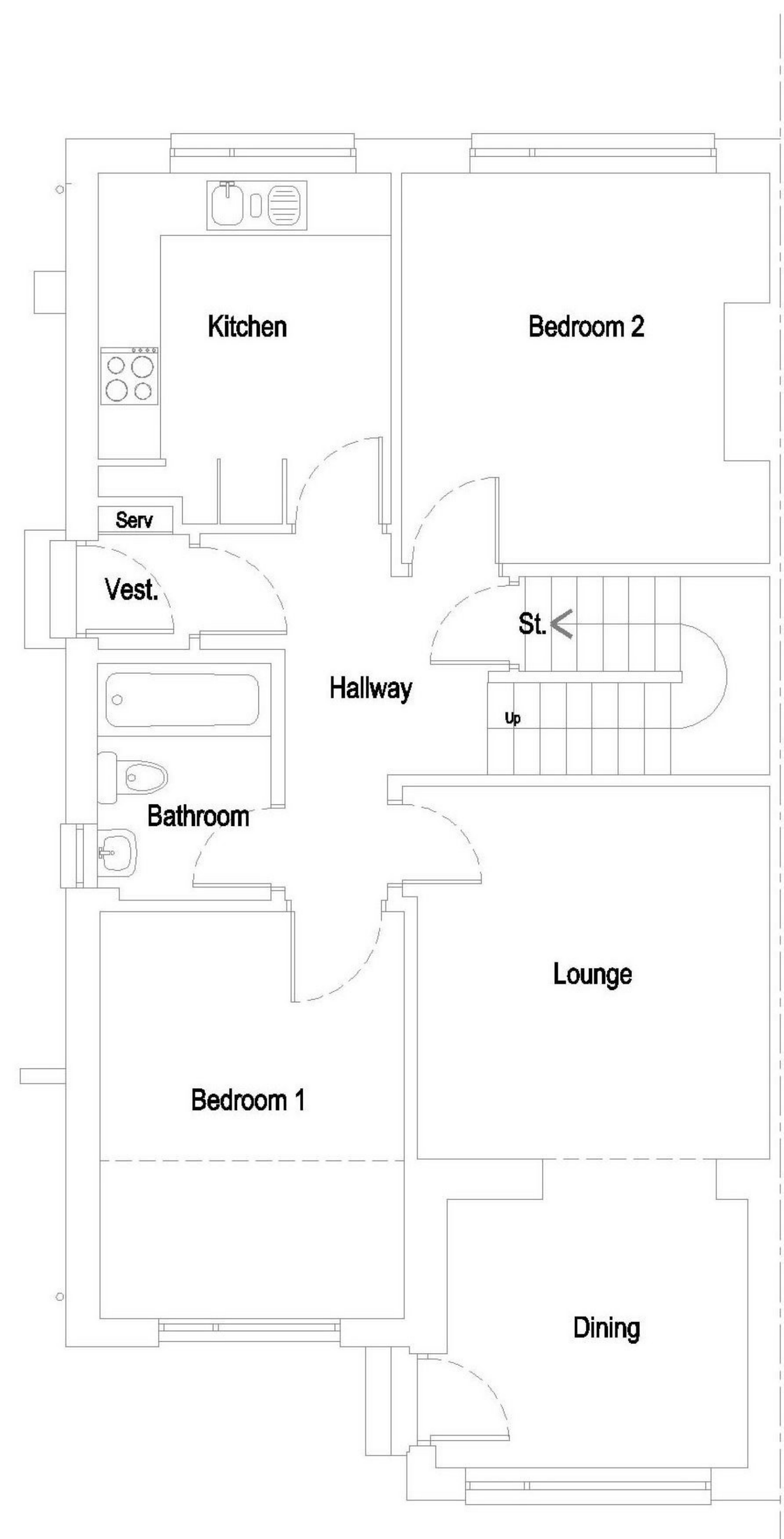
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METRES (scale @ 1:100)



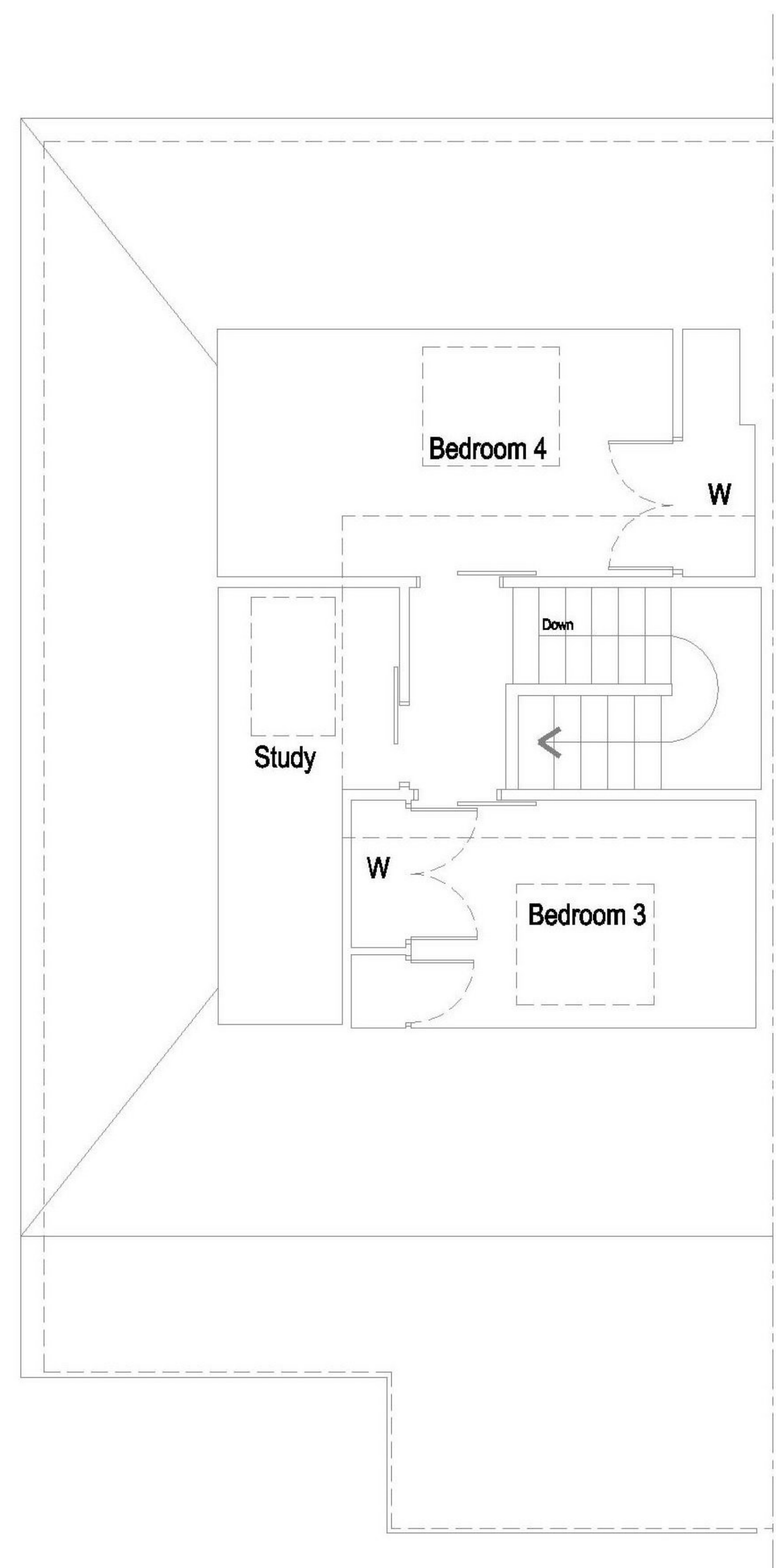
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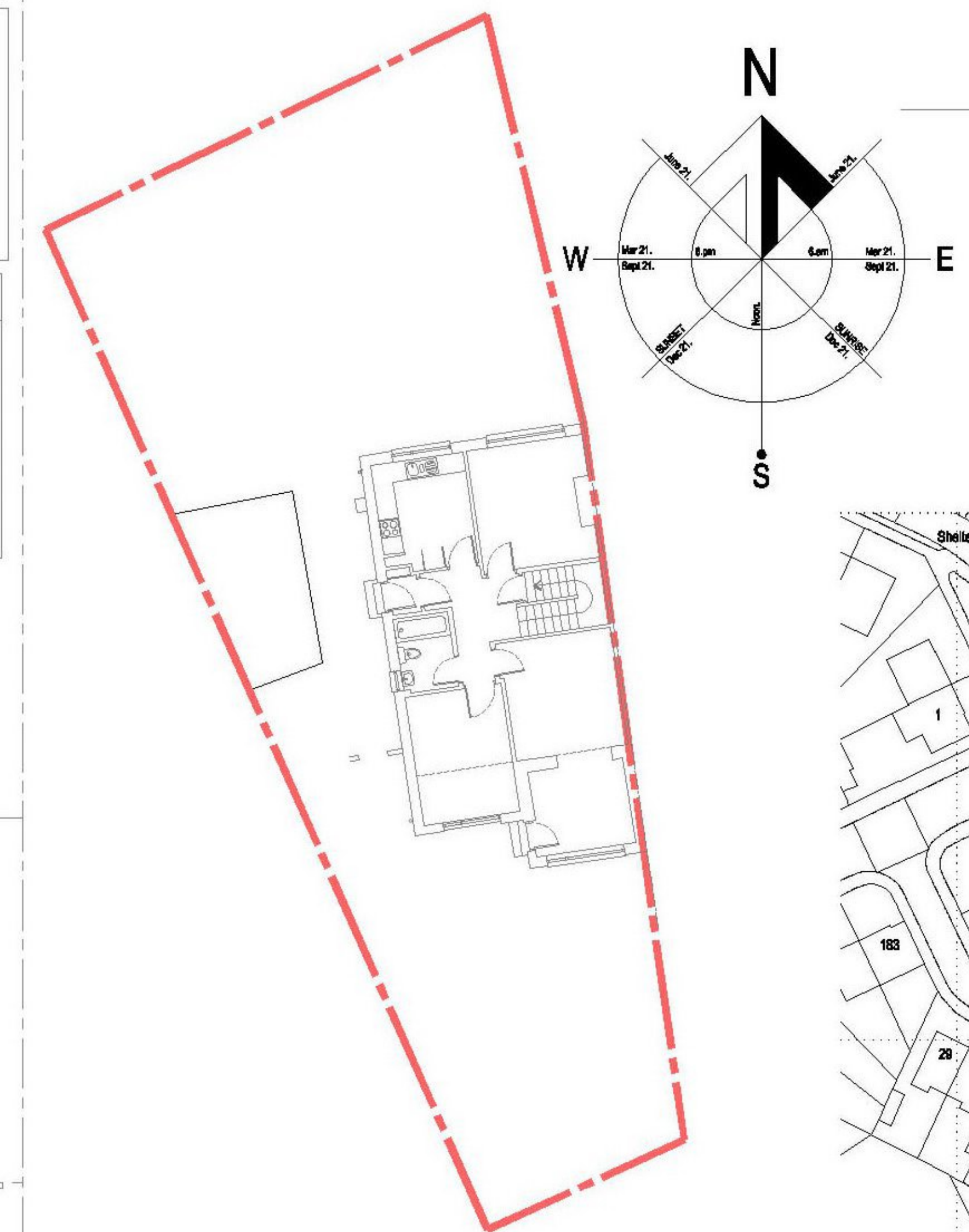
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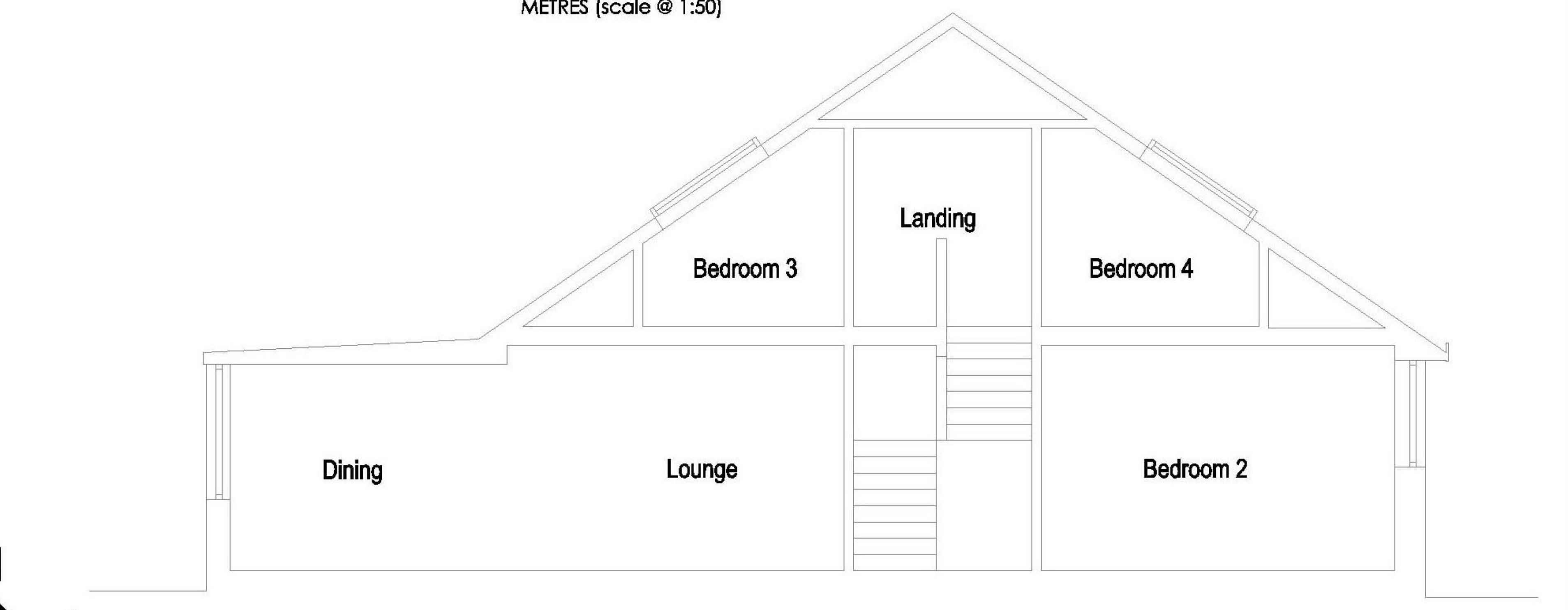
Ground Floor Plan 1:50
0 500mm 1 2 3 4 5 6M
METRES (scale @ 1:50)



First Floor Plan 1:50
0 500mm 1 2 3 4 5 6M
METRES (scale @ 1:50)



Existing Site Plan 1:200
0 2 4 6 8 10 12m
METRES (scale @ 1:200)



Section 1:50
0 500mm 1 2 3 4 5 6M
METRES (scale @ 1:50)



Location Plan 1:1250
0 20 40 60 80 100
Metres (scale @ 1:1250)

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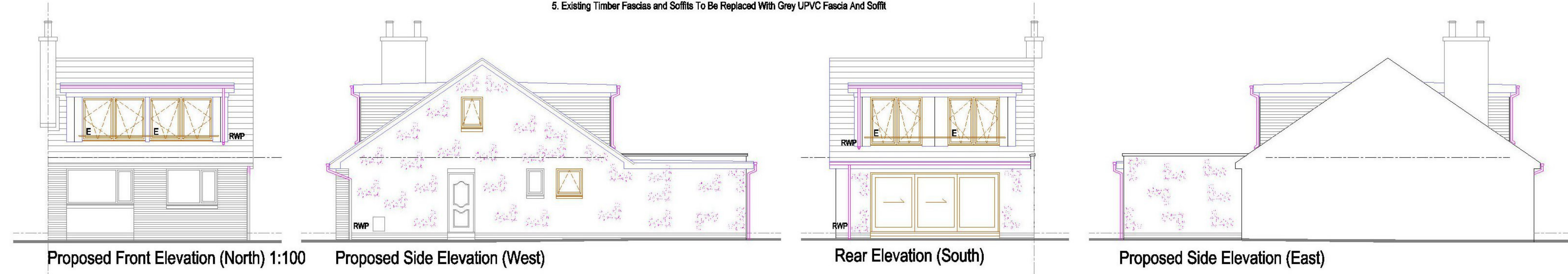
Client:
Ryan and Lyndsey Swan,
(Existing House Drawings)

Title:
Proposed House Extension,
1 Northcote Crescent,
Aberdeen.
AB15 7TE

scales: 1:50,100,200,1250	drawn: G.Scott	date: 10.2016.	Dwg No: GS0345-001	rev:
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- EXTERNAL FINISHES:-**
1. House Re-Roofed With Grey Roof Tiles Of A Profile To Match Existing
 2. House Re-Rendered In Smooth White Render
 3. Dormer Haffits Clad In Grey Baby Plain Tiles
 4. Dormer Facades Finished In Grey Composite Or Zinc Panels To Match Windows
 4. White UPVC Windows Replaced With Grey Woodgrain UPVC Units
 5. White UPVC Door Replaced With Grey Composite Unit
 6. Existing Timber Fascias and Soffits To Be Replaced With Grey UPVC Fascia And Soffit

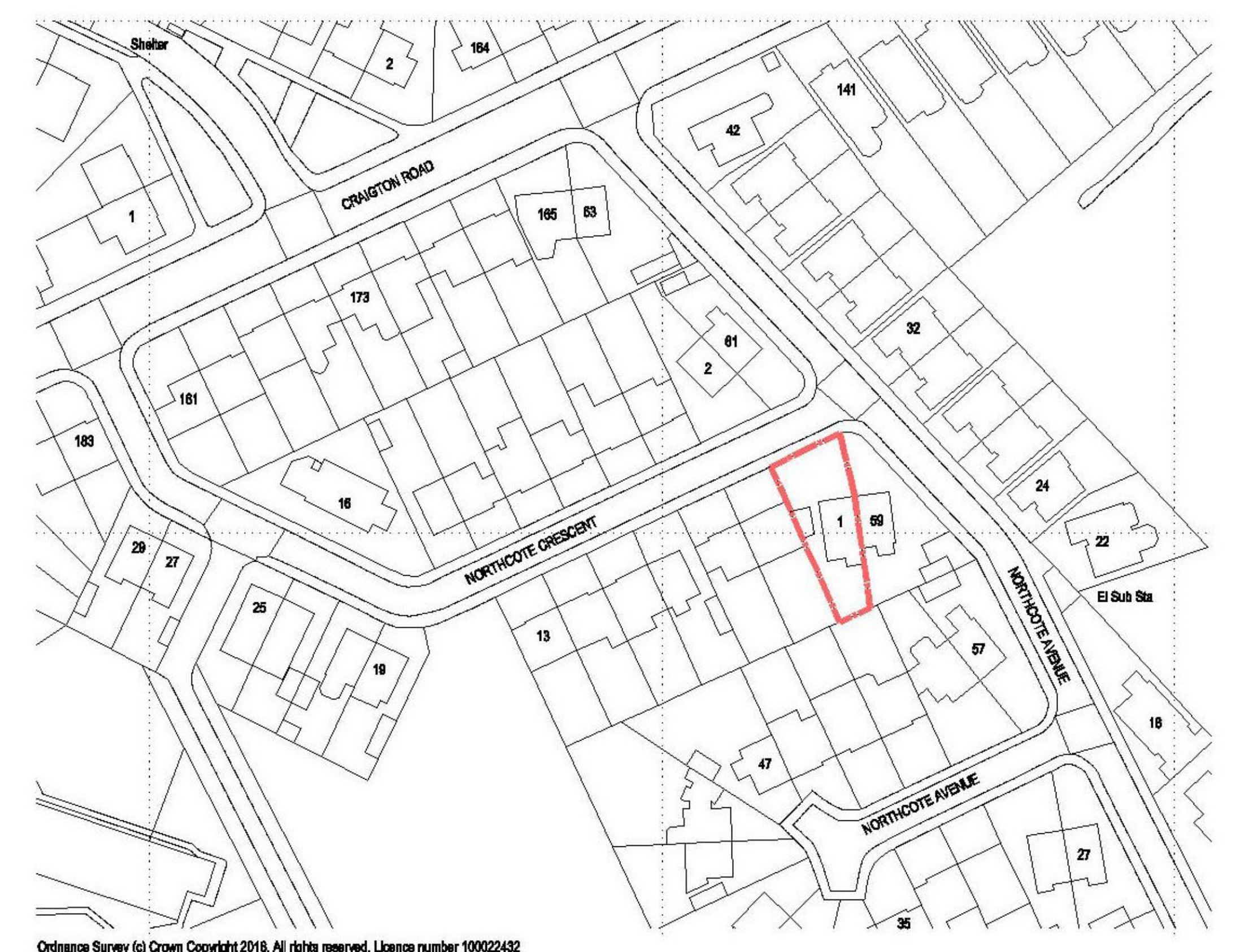
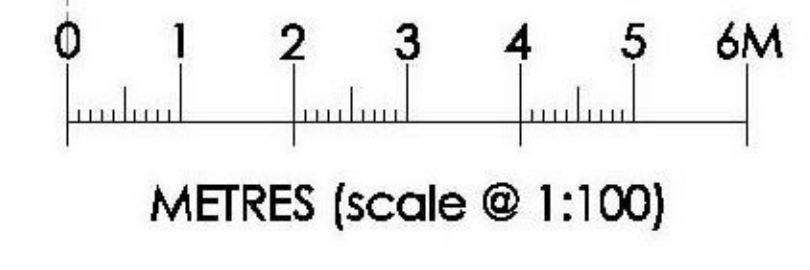


Proposed Front Elevation (North) 1:100

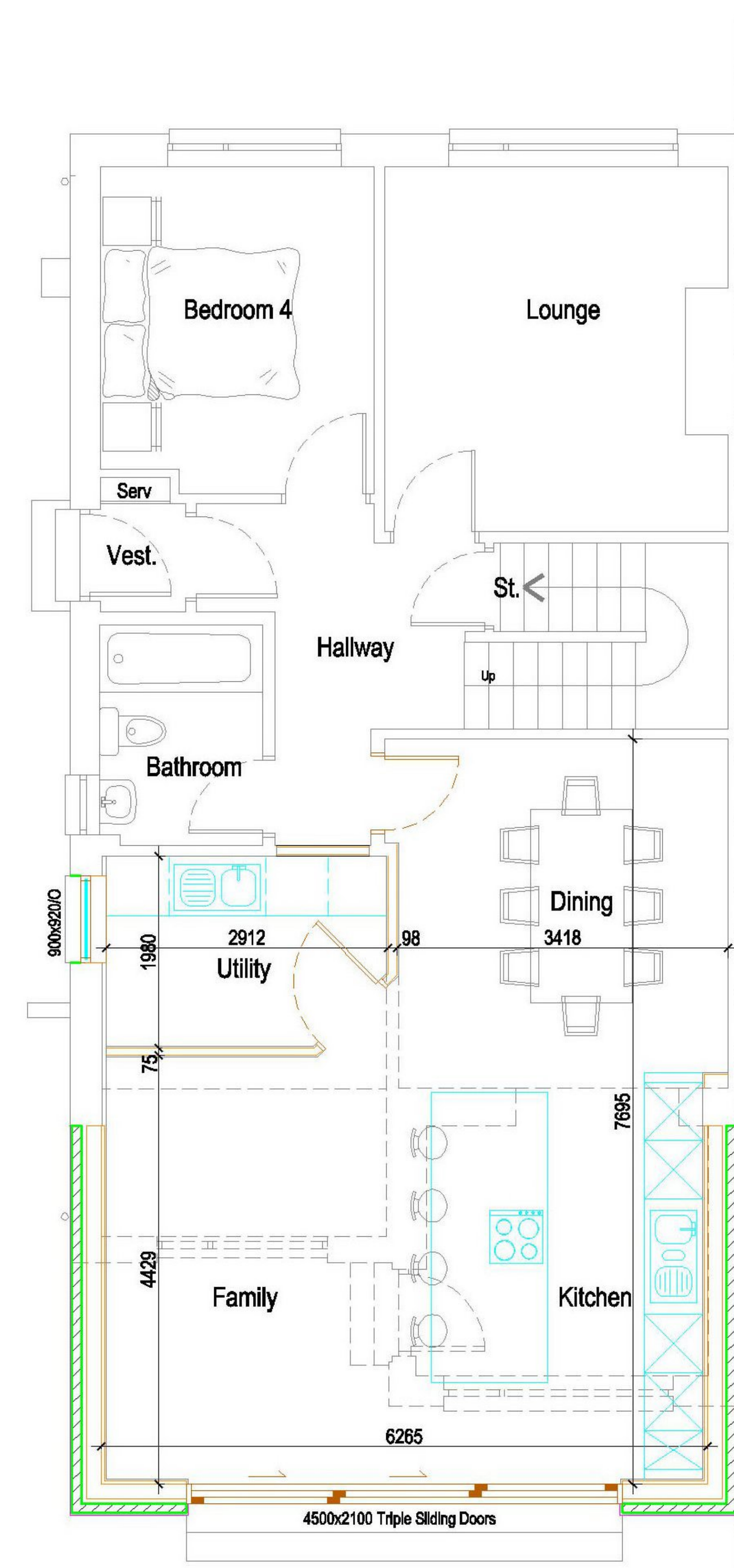
Proposed Side Elevation (West)

Rear Elevation (South)

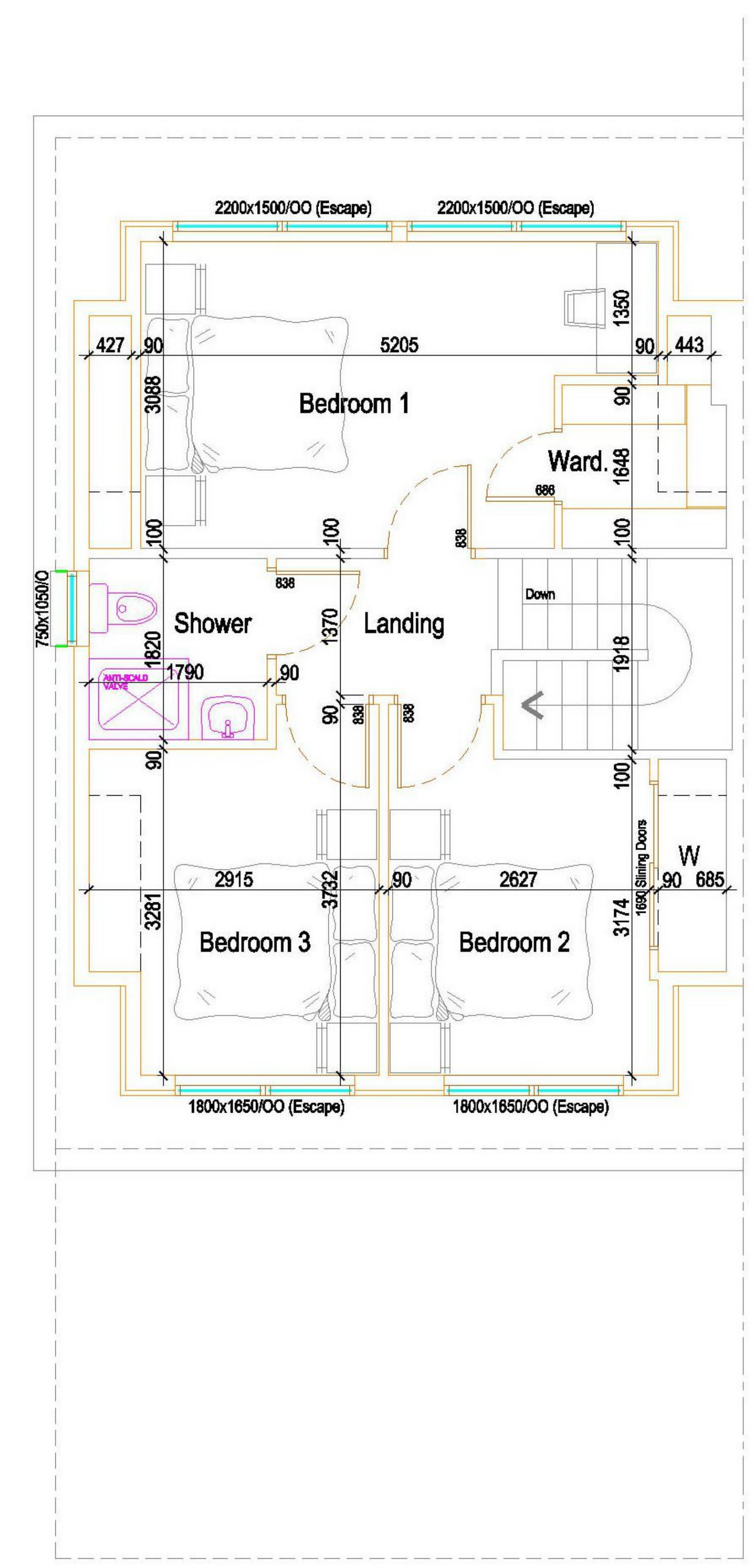
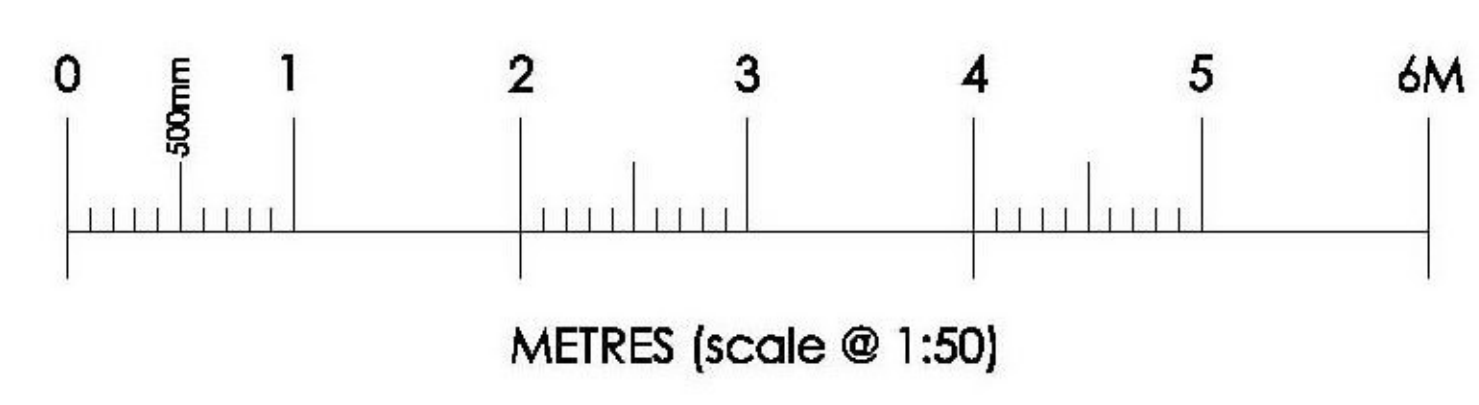
Proposed Side Elevation (East)



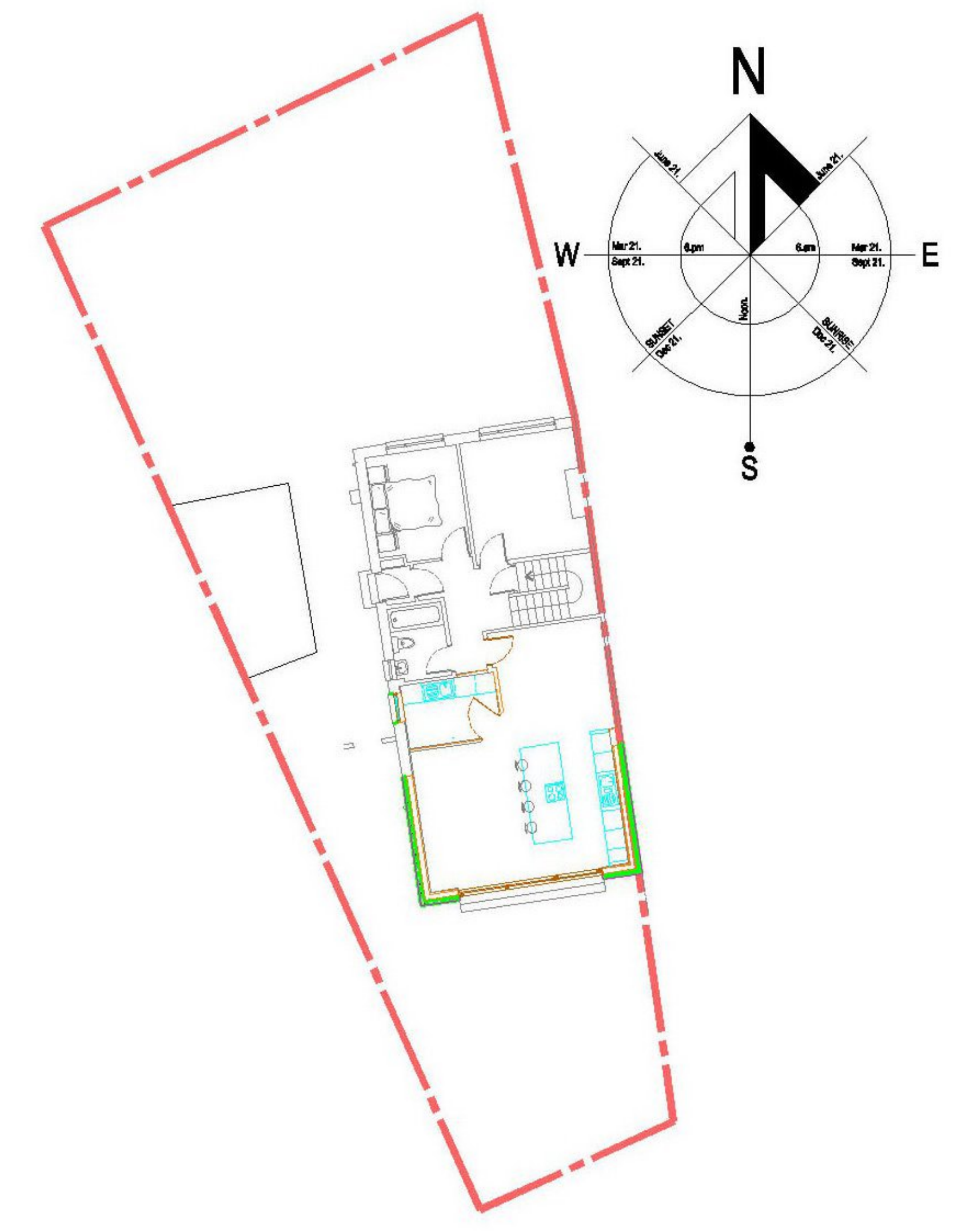
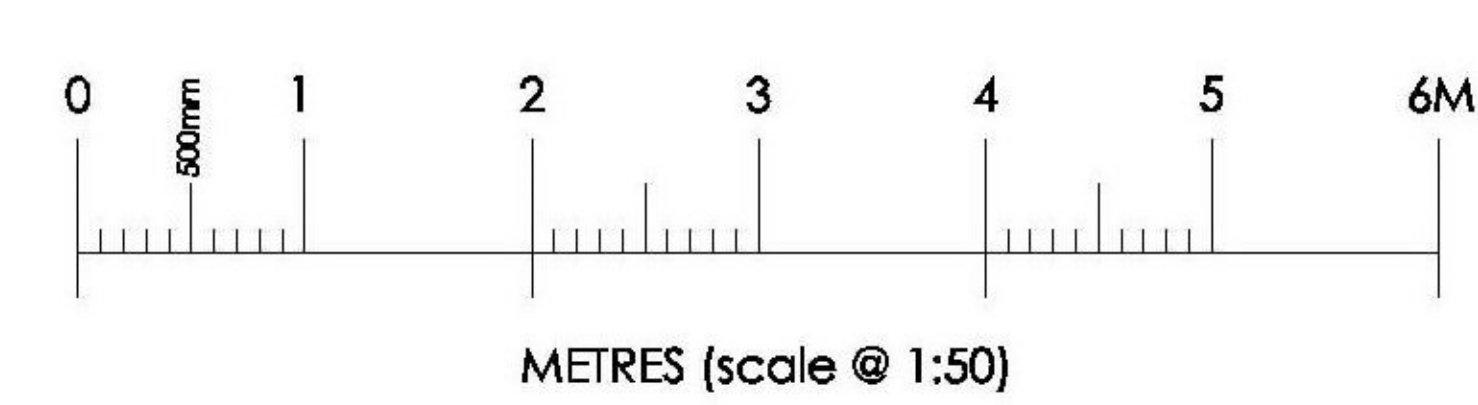
Location Plan 1:1250
Metres (scale @ 1:1250)



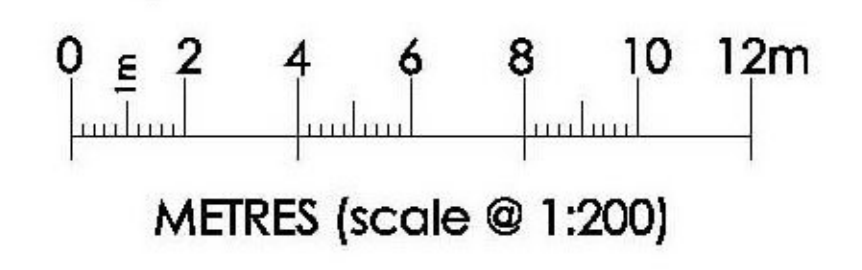
Ground Floor Plan 1:50



First Floor Plan 1:50



Proposed Site Plan 1:200



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Rev	B	FURTHER CLIENT ALTS	GS	05.2017.
	A	CLIENT/PLANNING ALTS	GS	05.2017.

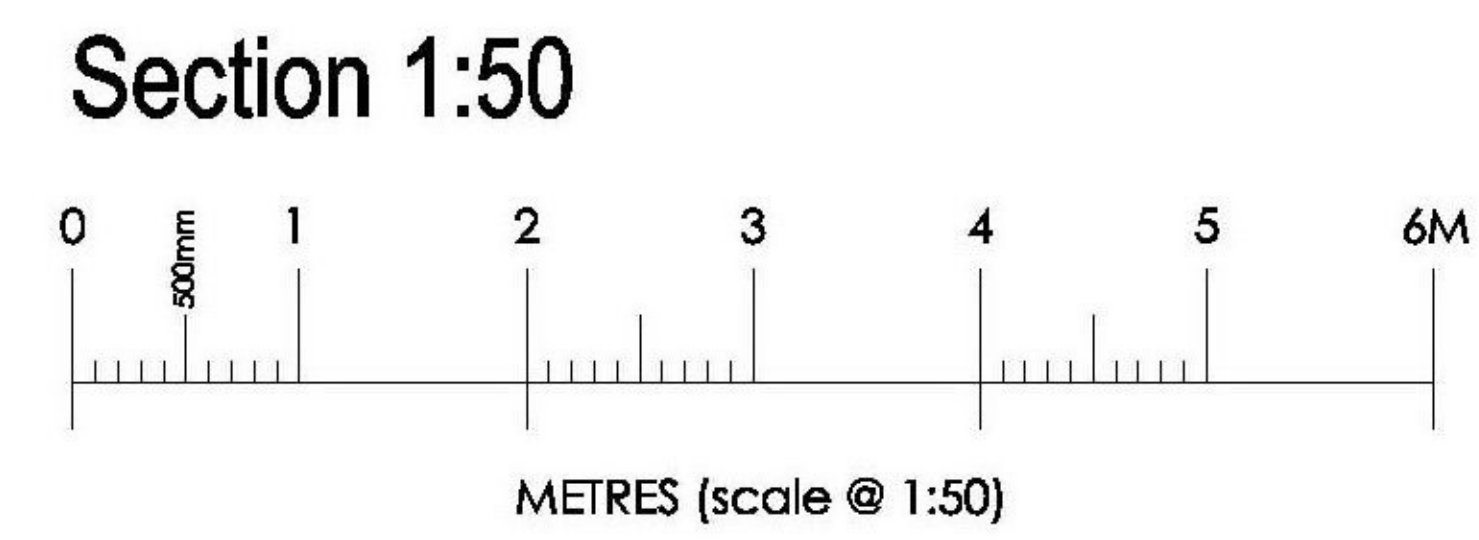
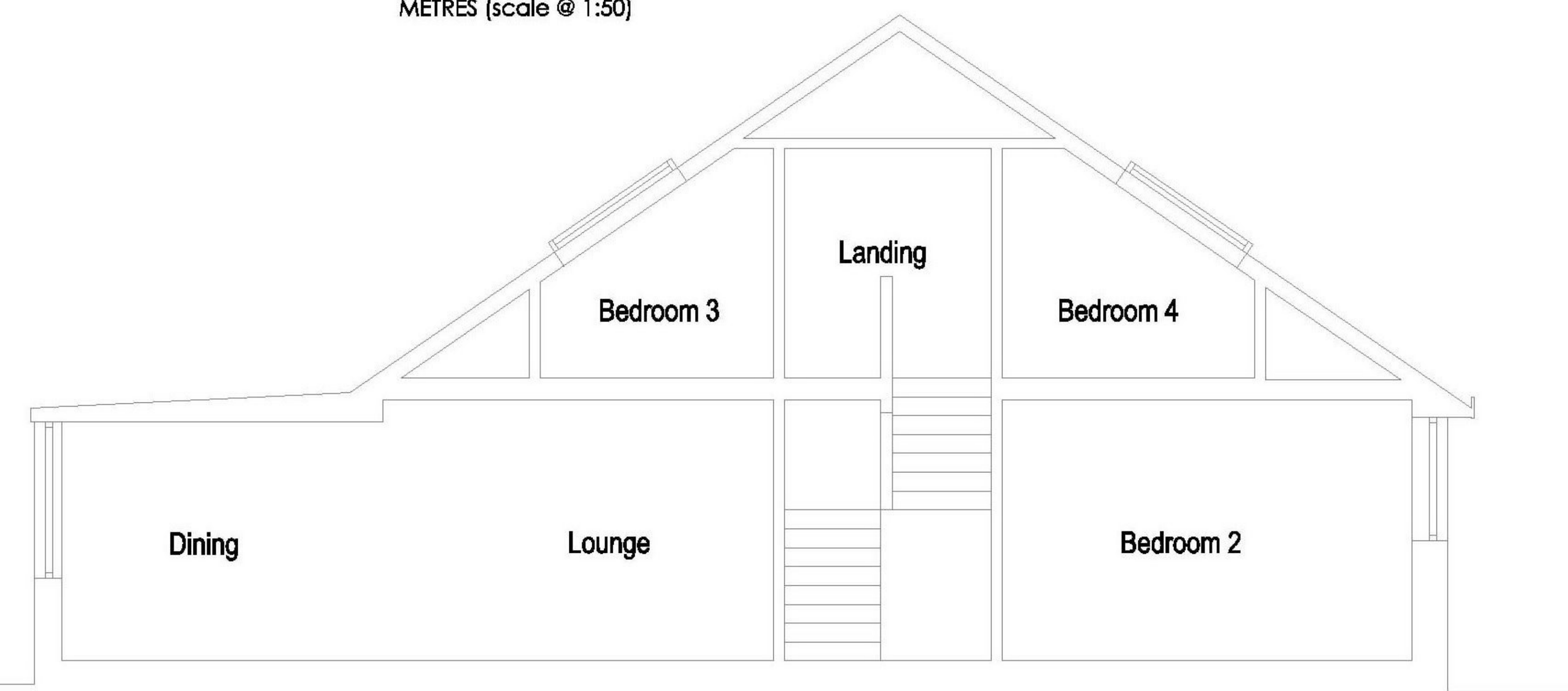
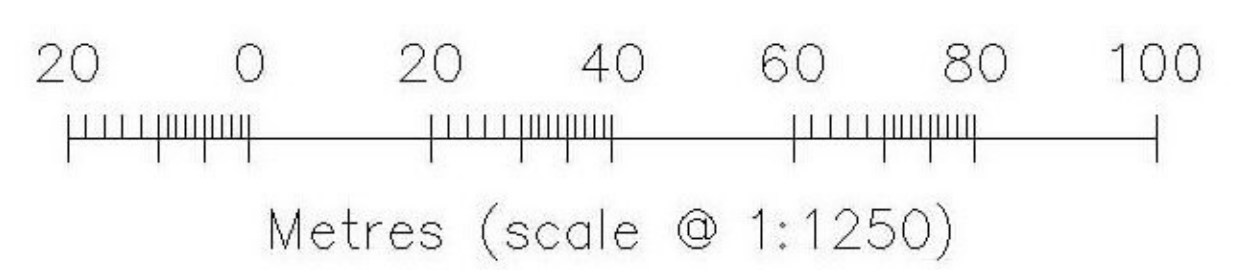
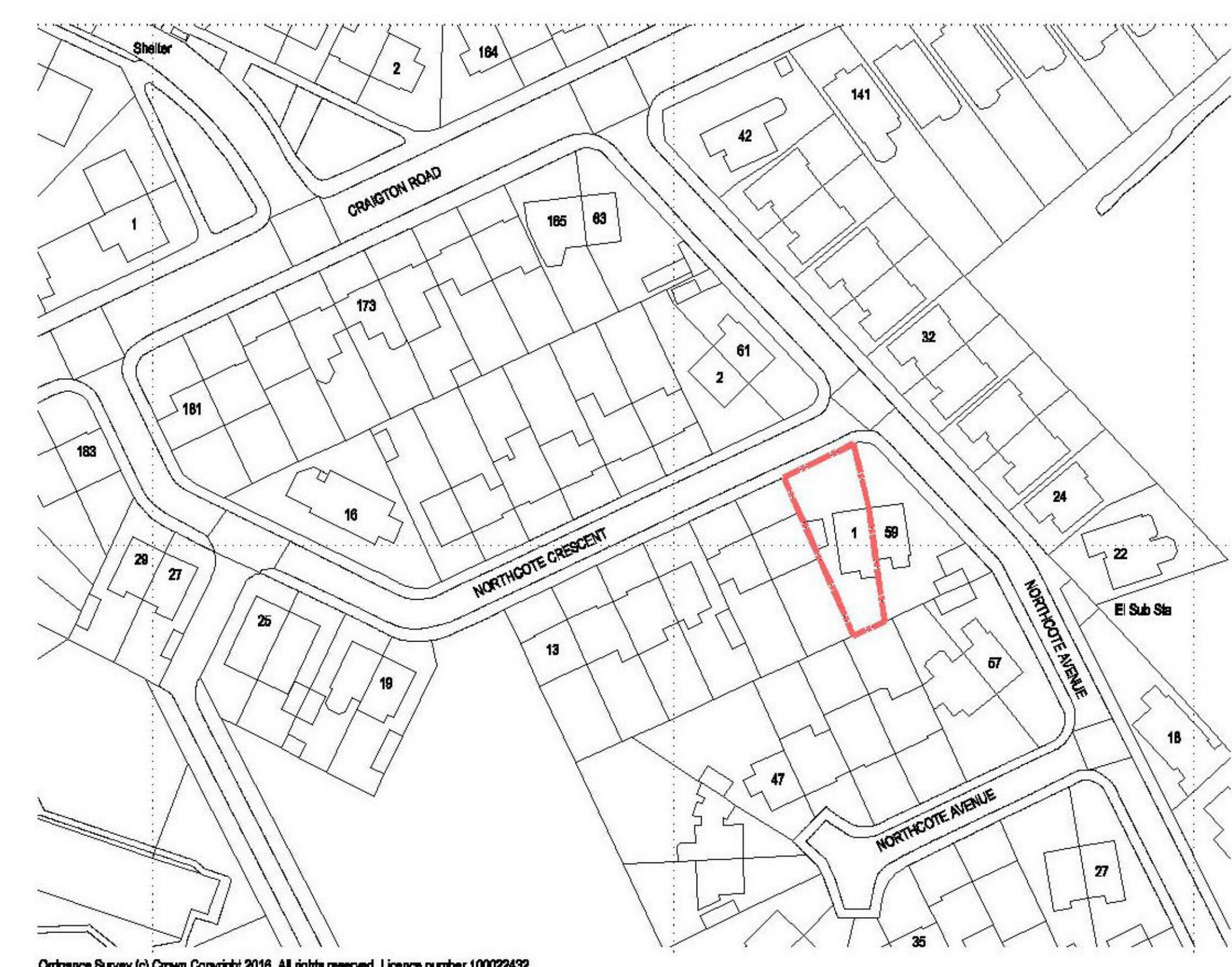
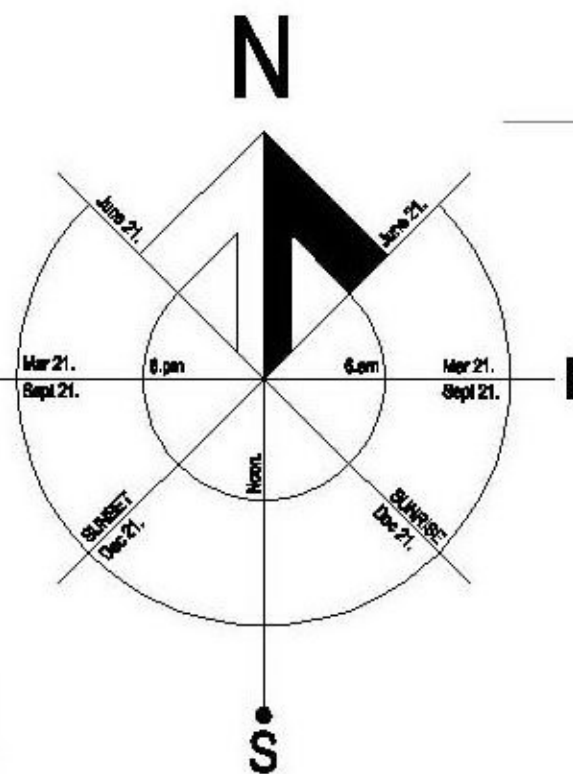
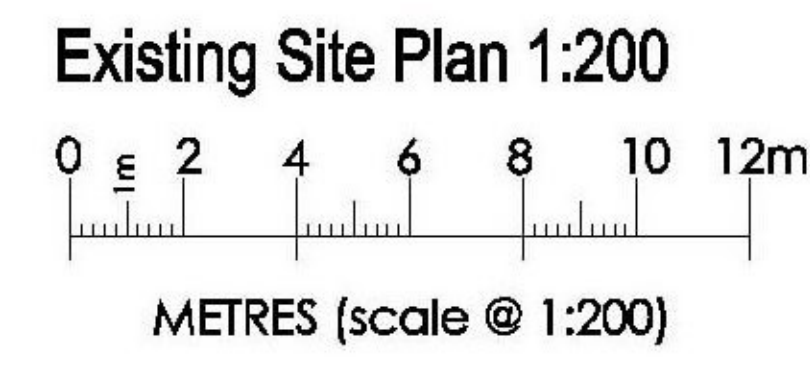
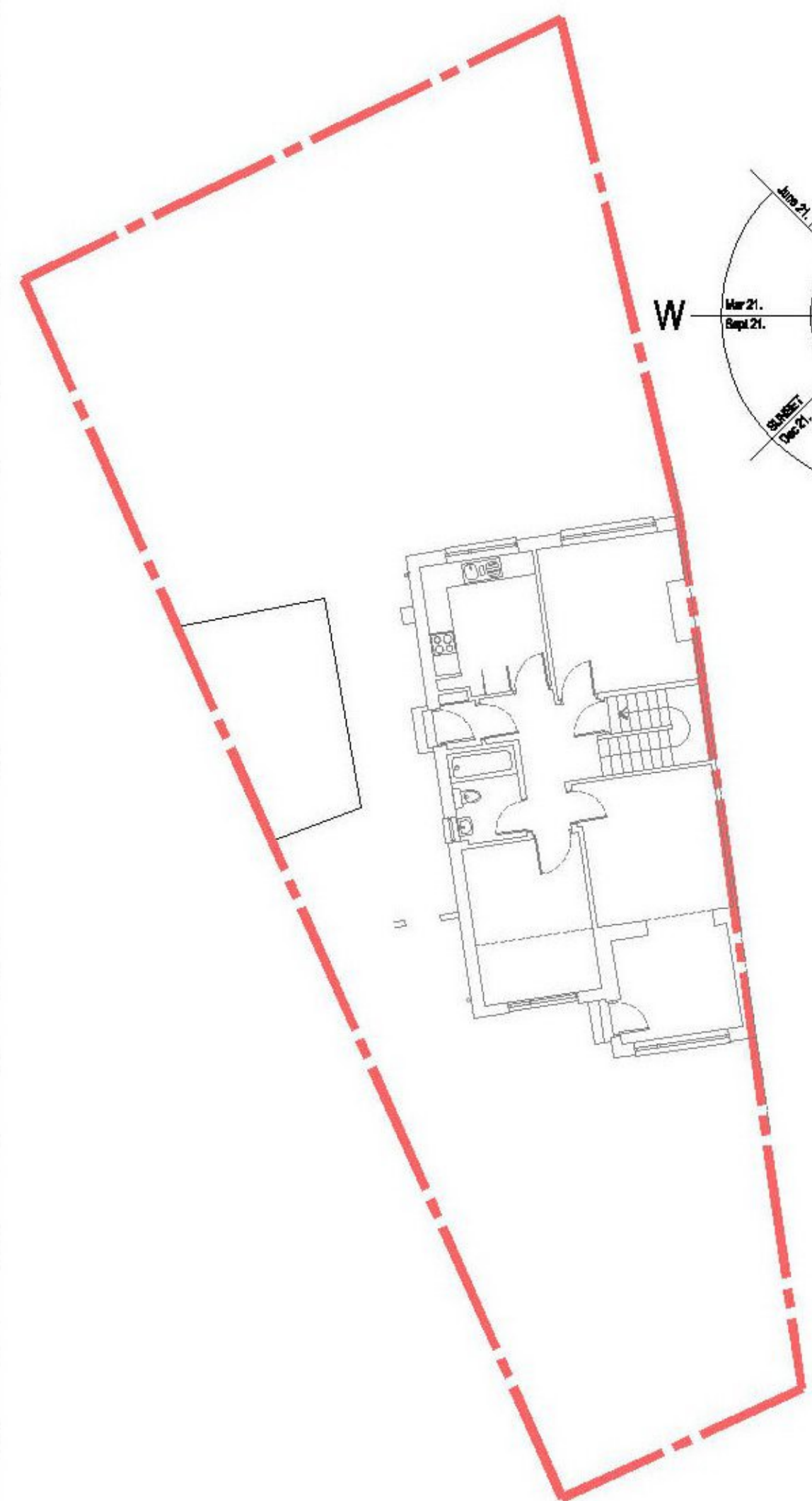
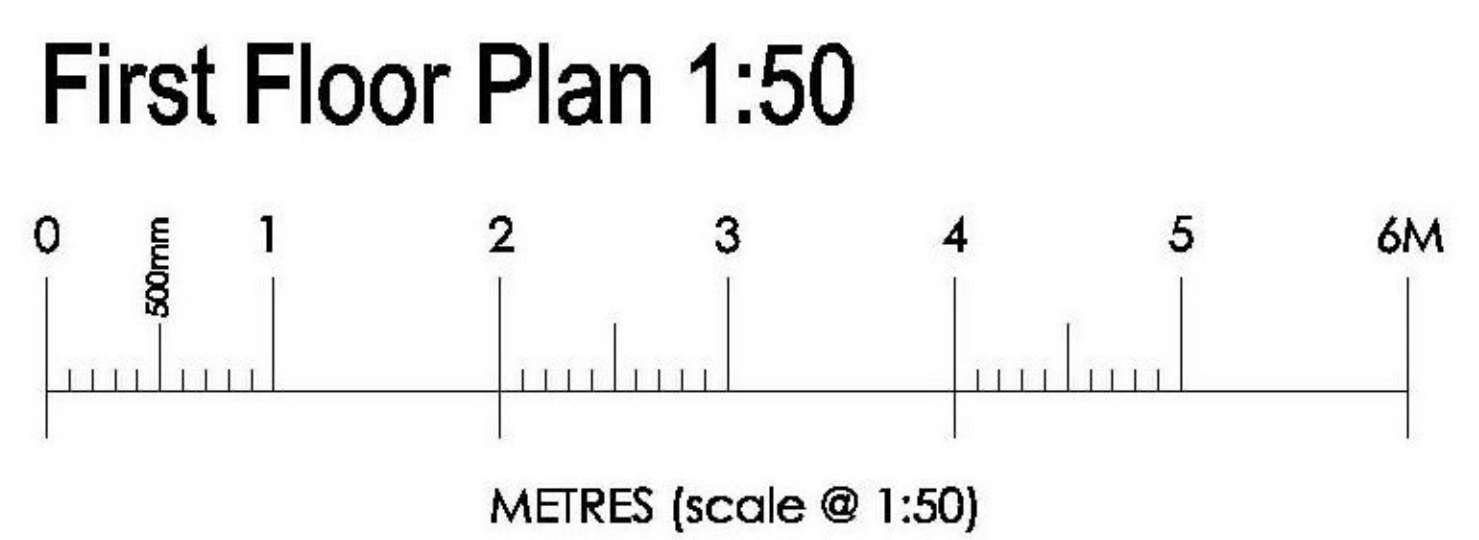
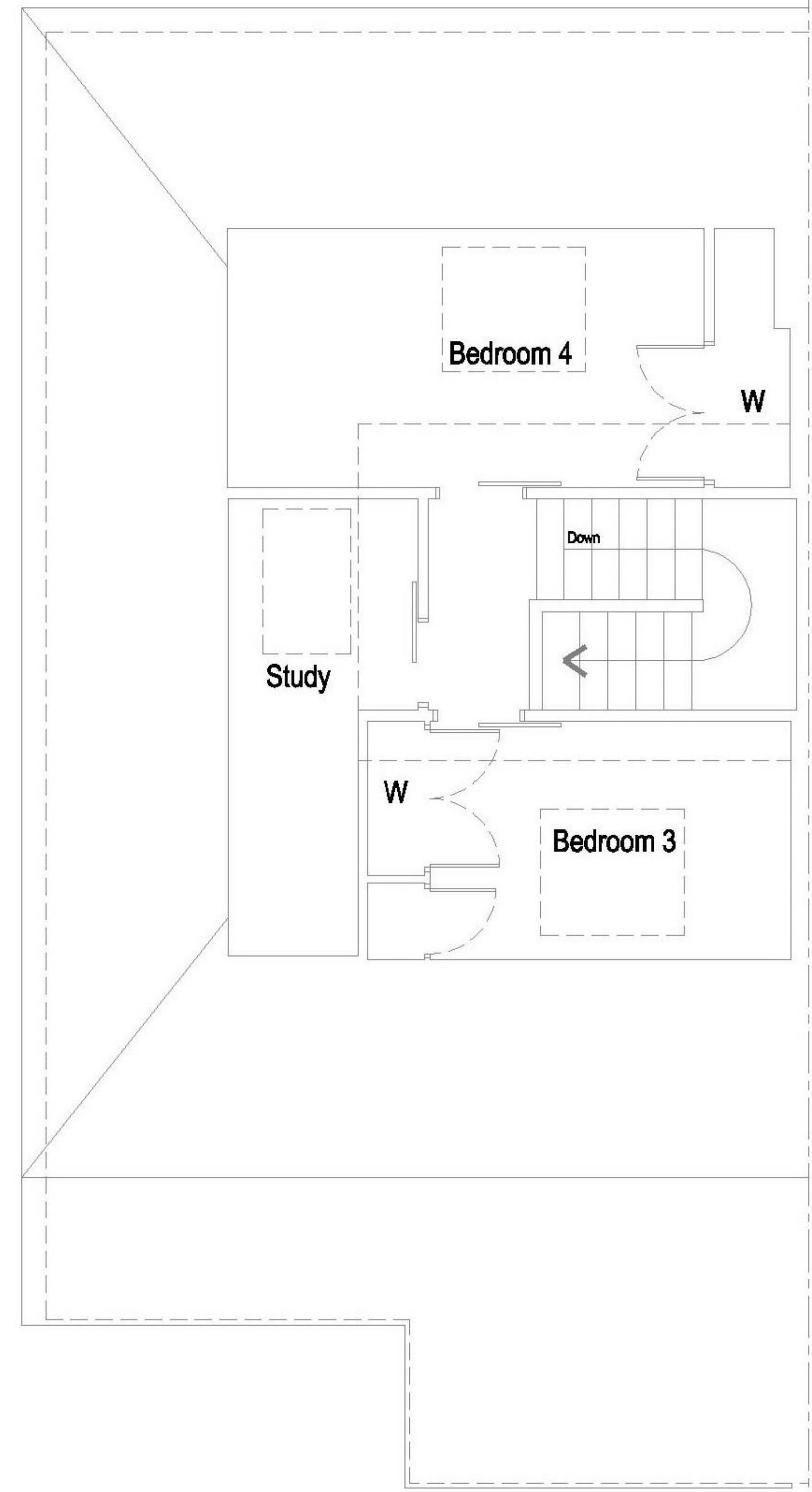
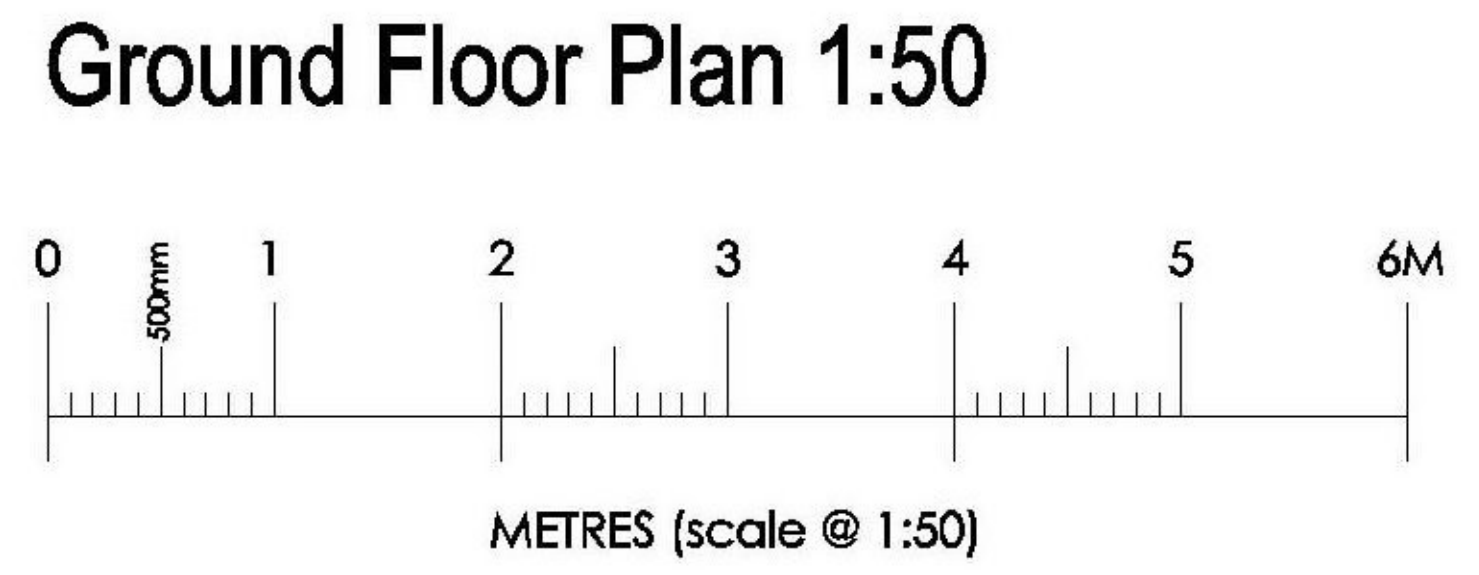
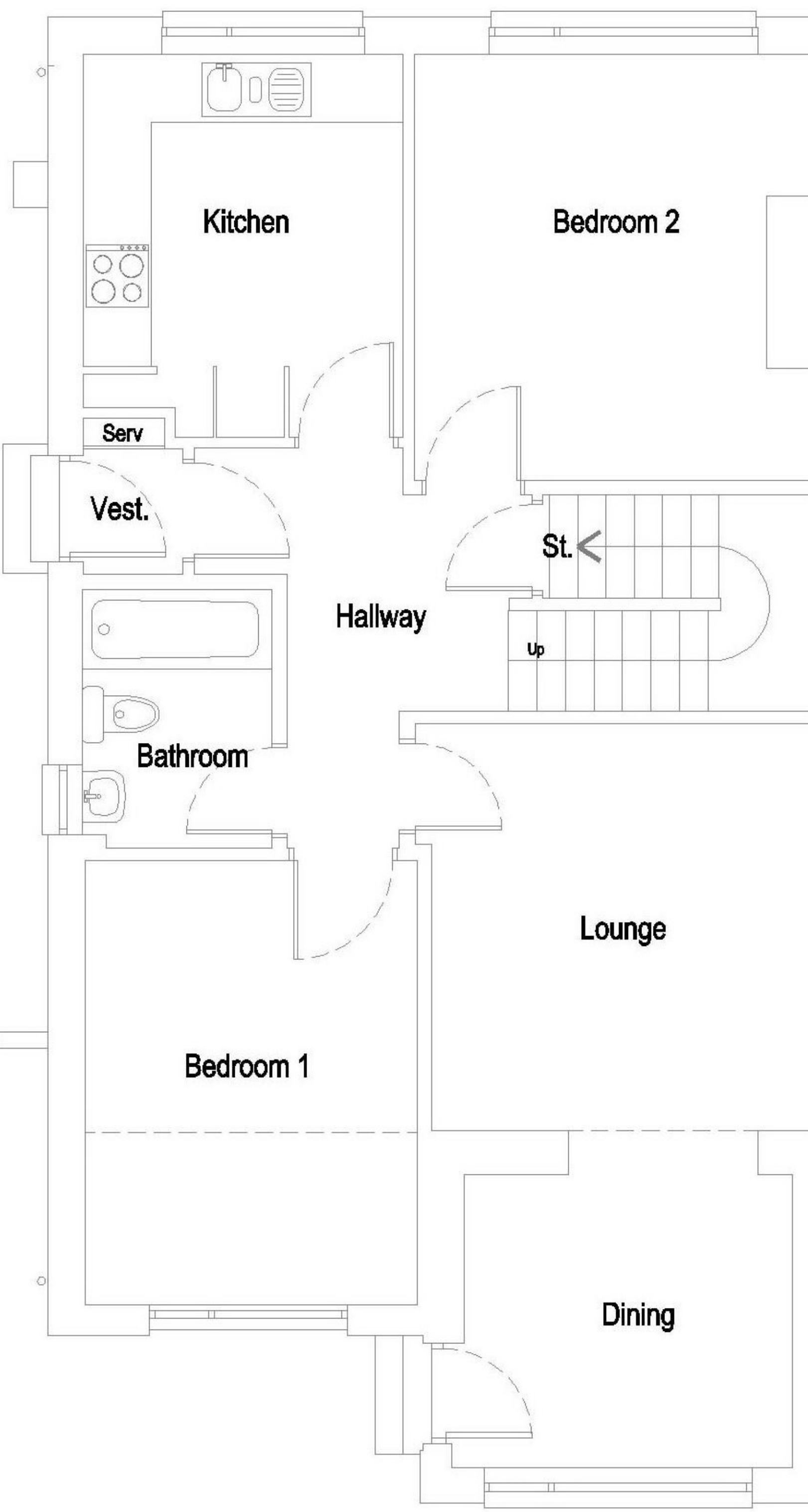
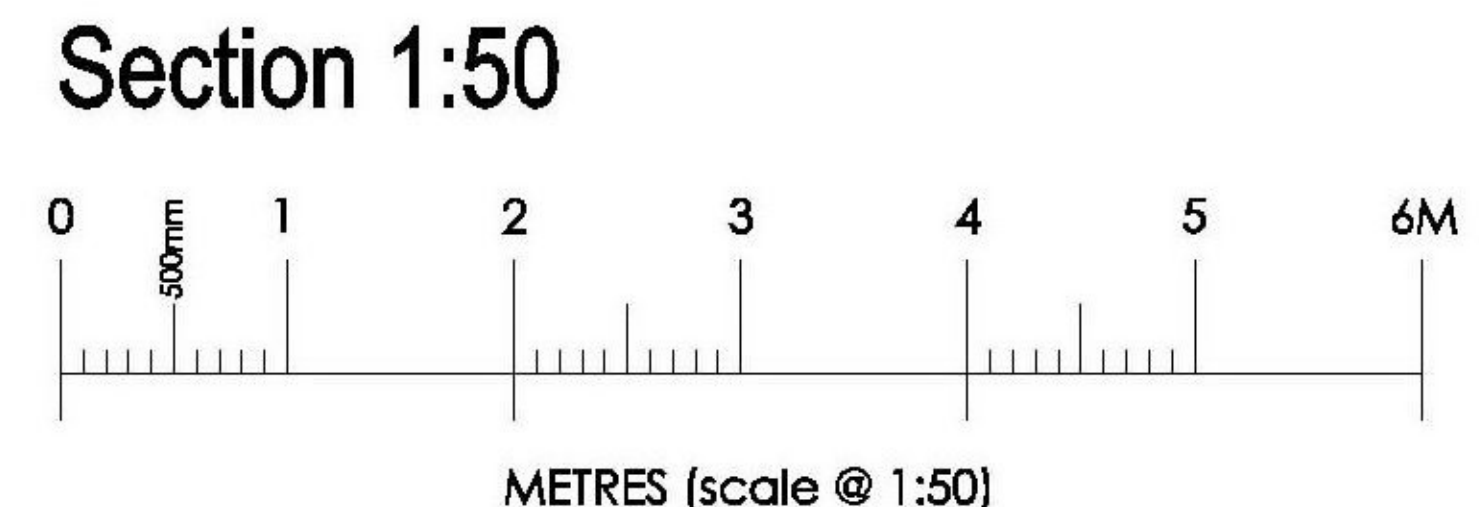
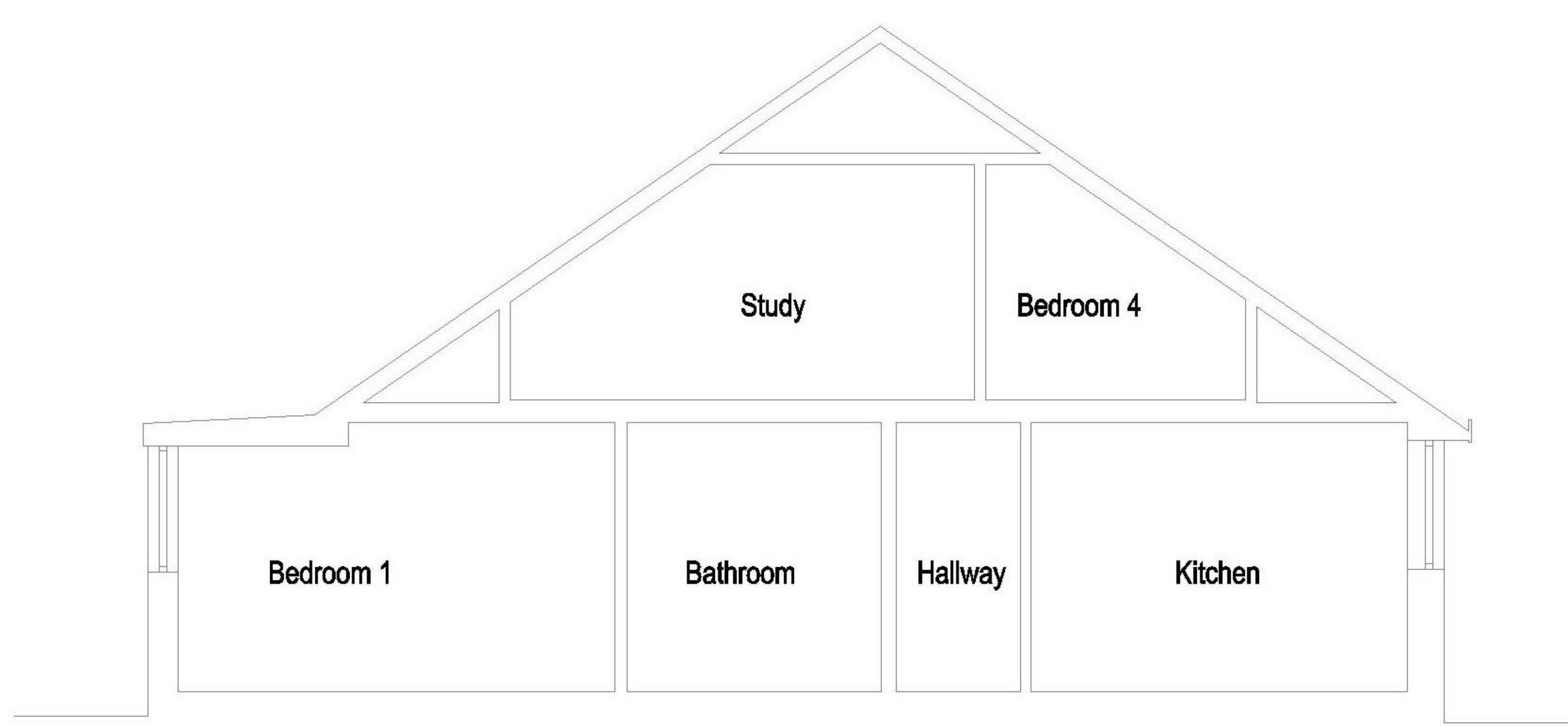
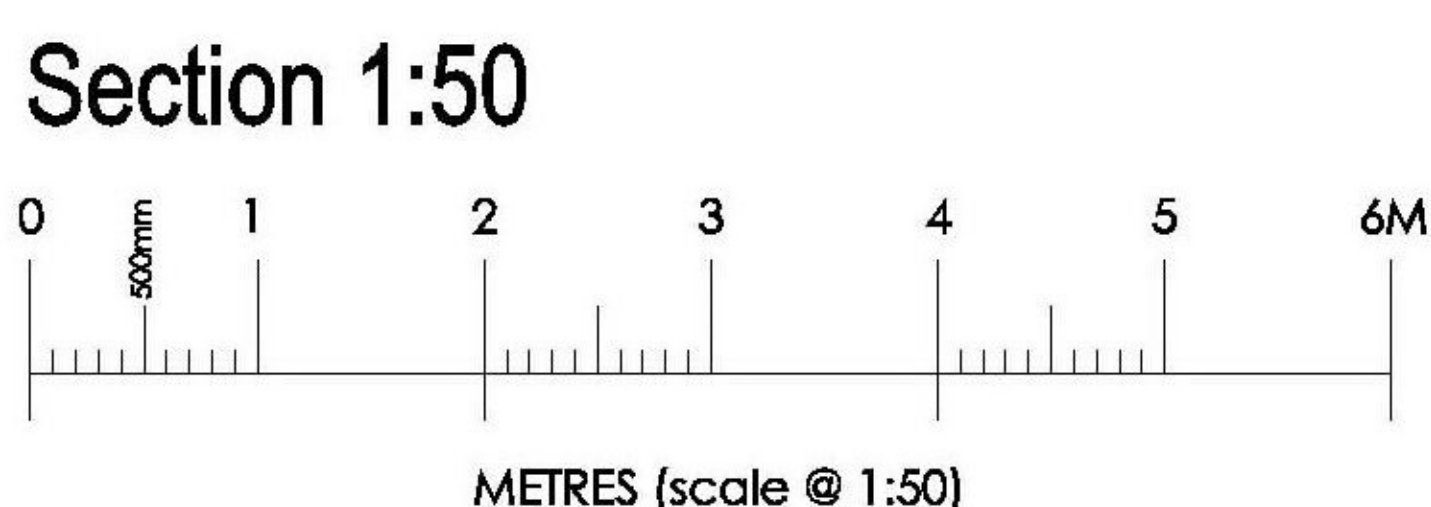
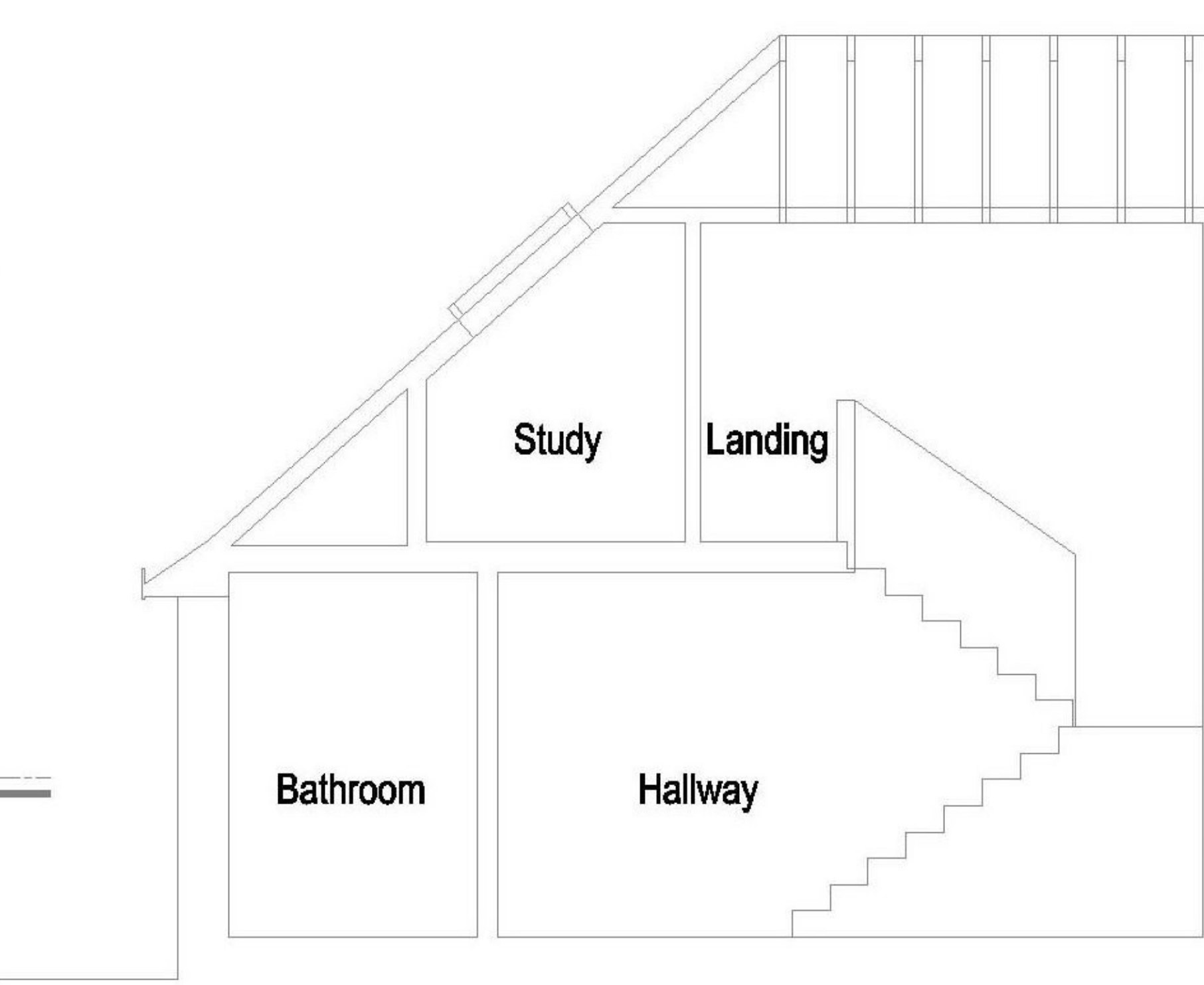
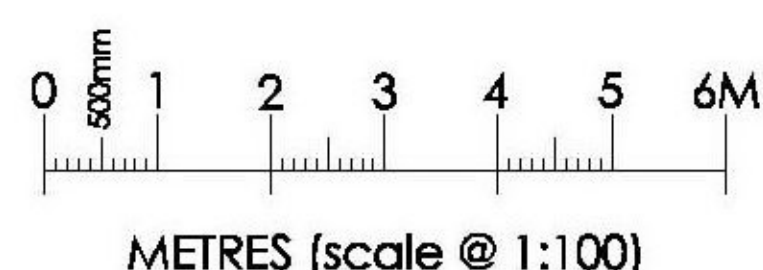
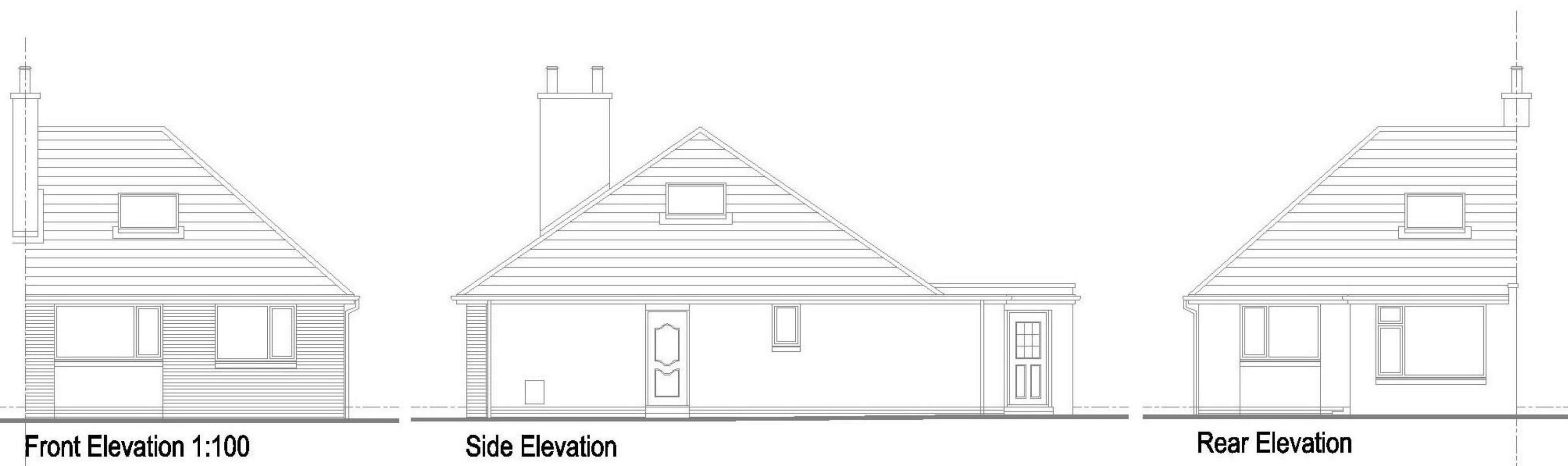
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Client:
Ryan and Lyndsey Swan,
(Proposed House Drawings)

Title:
Proposed House Extension,
1 Northcote Crescent,
Aberdeen.
AB15 7TE

scales:	drawn:	date:	Dwg No:	rev:
1:50,100,200	G.Scott	11.2016.	GS0345-002	B

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Rev	Date

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Client:
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(Existing House Drawings)

Title:
Proposed House Extension,
1 Northcote Crescent,
Aberdeen.
AB15 7TE

scales: 1:50,100,200,1250	drawn: G.Scott	date: 10.2016.	Dwg No: GS0345-001	rev:
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DECISION NOTICE

The Town and Country Planning (Scotland) Act 1997

Detailed Planning Permission

Greig Mathieson
Gordon Scott Architectural Services Ltd
Langavat House
Old Skene Road
Westhill
Aberdeenshire
Scotland
AB32 6UB

on behalf of **Mr & Mrs Ryan Swan**

With reference to your application validly received on 2 June 2017 for the following development:-

**Formation of straight gable and dormer windows to front and rear
at 1 Northcote Crescent, Aberdeen**

Aberdeen City Council in exercise of their powers under the above mentioned Act hereby **REFUSE PLANNING PERMISSION** for the said development in accordance with the particulars given in the application form and the following plans and documents:

<u>Drawing Number</u>	<u>Drawing Type</u>
GS0345-001	Location Plan
GS0345-002 REV B	Elevations and Floor Plans

REASON FOR DECISION

The reasons on which the Council has based this decision are as follows:-

The proposal does not comply with Policy D1 (Quality Placemaking by Design) and H1 (Residential Areas) of the Aberdeen Local Development Plan and the associated 'Householder Development Guide' Supplementary Guidance. It fails to demonstrate

due regard for the design and context of the streetscape, particularly when viewed in the context of the road-end properties along Northcote Avenue, where properties are of a similar design and style to existing, as it would unbalance a pair of semi-detached houses and, by reason of the scale and dimensions of the proposed dormers, would create a top heavy and bulky roof elevation, which would introduce a visually disruptive feature into a streetscape that otherwise retains its original form, character and pattern of development. As a result the proposed development would appear out of context and would impose a negative design feature on the surrounding area. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that the proposal does not accord with Policies H1 (Residential Areas) and D1 (Quality Placemaking by Design) of the Aberdeen Local Development Plan as well as its associated Supplementary Guidance: Householder Development Guide. In this instance there are no material planning considerations that would warrant approval of the application.

Date of Signing 4 August 2017



Daniel Lewis
Development Management Manager

IMPORTANT INFORMATION RELATED TO THIS DECISION

DETAILS OF ANY VARIATION MADE TO ORIGINAL PROPOSAL, AS AGREED WITH APPLICANT (S32A of 1997 Act)

None.

RIGHT OF APPEAL THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997

If the applicant is aggrieved by the decision of the planning authority –

- a) to refuse planning permission;
- b) to refuse approval, consent or agreement required by a condition imposed on a grant of planning permission;
- c) to grant planning permission or any approval, consent or agreement subject to conditions,

the applicant may require the planning authority to review the case under section 43A(8) of the Town and Country Planning (Scotland) Act 1997 within three months

from the date of this notice. Any requests for a review must be made on a 'Notice of Review' form available from the planning authority or at www.eplanning.scot.

Notices of review submitted by post should be sent to Planning and Sustainable Development (address at the top of this decision notice).

SERVICE OF PURCHASE NOTICE WHERE INTERESTS ARE AFFECTED BY A PLANNING DECISION

If permission to develop land is refused and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development that would be permitted, the owners of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

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Comments for Planning Application 170635/DPP

Application Summary

Application Number: 170635/DPP

Address: 1 Northcote Crescent Aberdeen AB15 7TE

Proposal: Formation of straight gable and dormer windows to front and rear

Case Officer: Sheila Robertson

Customer Details

Name: Mrs Irene Cormack

Address: 61 Northcote Avenue Aberdeen

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: I have no objection to the proposals for 1 Northcote Crescent. I am supportive of the front elevation proposals which are directly opposite my property as they are similar to the better conversions already existing in the area.

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Marischal College Planning & Sustainable Development Business Hub 4, Ground Floor North Broad Street Aberdeen AB10 1AB Tel: 01224 523 470 Fax: 01224 636 181 Email: pi@aberdeencity.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100063443-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text"/>
First Name: *	<input type="text" value="Ryan"/>	Building Number:	<input type="text" value="1"/>
Last Name: *	<input type="text" value="Swan"/>	Address 1 (Street): *	<input type="text" value="Northcote Crescent"/>
Company/Organisation	<input type="text"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text" value="[REDACTED]"/>	Town/City: *	<input type="text" value="Aberdeen"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="AB157TE"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="[REDACTED]"/>		

Site Address Details

Planning Authority:

Aberdeen City Council

Full postal address of the site (including postcode where available):

Address 1:

1 NORTHCOTE CRESCENT

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

ABERDEEN

Post Code:

AB15 7TE

Please identify/describe the location of the site or sites

Northing

804097

Easting

390833

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *

(Max 500 characters)

Formation of straight gable and dormer windows to front and rear: Old extension to ground floor removed and replaced with new extension, minor internal alterations to existing ground floor to create utility room. House re-roofed to create additional accommodation on first floor

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Discussed fully in 'Notice of Review - 1 Northcote Crescent' (Attached) 1) The full context of the wider streetscape was not taken into consideration during the assessment, influencing the outcome 2) Comments regarding the 'scale and dimensions' of the proposed dormers are due to an incorrect interpretation of provided drawing(s) 3) Recommendation to refuse permission is contradicted by recent permission granted at 19 Northcote Crescent based on current policies and guidance.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

'Notice of Review - 1 Northcote Crescent' (This is an appeal report with a number of appendices)

Application Details

Please provide details of the application and decision.

What is the application reference number? *

170635/DPP

What date was the application submitted to the planning authority? *

01/06/2017

What date was the decision issued by the planning authority? *

04/08/2017

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure *

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

The principal justification for the recommendation to refuse planning application is based on the review of the proposal with respect to the wider streetscape - this can only be truly appreciated through a site visit. It will be shown that when the full streetscape is considered, the proposal as submitted does not impact the character or amenity of the surrounding area. Accordingly, the application should be recommended for approval.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Ryan Swan


Declaration Date: 05/09/2017

Notice of Review

1 Northcote Crescent, Aberdeen

Appeal Report

Ryan Swan and Lyndsey Macphee
Application Reference - 170635/DPP
Decision Notice Issue Date - 4th August 2017


Ryan Swan
(On behalf of R. Swan and L. Macphee)

5th September 2017
Date

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2 Context, Siting and Scale 4

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Appendix A Decision Notice

Appendix B Report of Handling (1 Northcote Crescent)

Appendix C Proposal Drawing (As Submitted)

Appendix D Neighbour Notification

Appendix E Neighbour Support Letter (Irene Cormack)

Appendix F Policy D1 (Quality Placemaking by Design)

Appendix G Policy H1 (Residential Areas)

Appendix H Householder Development Guidance (Extract)

Appendix I 19 Northcote Crescent - Proposal Drawing

Appendix J 19 Northcote Crescent - Report of Handling

1 Introduction

This report has been prepared to formalise an appeal against the decision taken by the Aberdeen City Council Planning department to refuse planning permission for a proposed alteration and extension at 1 Northcote Crescent under application reference 170635/DPP. The proposal is to extend the wall head of the existing gable vertically, realigning the roof profile in conjunction with the addition of dormers front and rear. The Decision Notice (Appendix A) was received on the 4th August, 2017 and detailed a refusal of planning permission noting:

'The proposal does not comply with policy D1 (Quality Placemaking by Design) and H1 (Residential Areas) of the Aberdeen Local Development Plan and the associated 'Householder Development Guide' Supplementary Guidance.'

Through reference to the 'Report of Handling' (Appendix B), it can be summarised that the principal reasoning for the recommendation to refuse planning permission for the proposal at 1 Northcote Crescent is twofold:

- 1) When taken in the context of a *'number of similar road end properties on Northcote Avenue'* approval of the proposal would *'result in an irretrievable loss of character... [which] would introduce a disruptive form of architecture to an otherwise uniform design theme'*.
- 2) With respect to the *'scale and dimensions'* of the proposed dormers (front and back), it is thought that approval of the proposal would *'overwhelm and dominate the original appearance of the dwelling house that fails to demonstrate due regard for its context...which would degrade the current pattern of development'*.

It is the intention of this report to challenge the recommendation to refuse planning permission by reviewing the justifications provided for the conclusions that have been drawn. This will be done by further exploring the 'Report of Handling' with respect to the comments noted under items 1) and 2) above, in conjunction with considering a comparison to a recently approved planning proposal at 19 Northcote Crescent.

2 Context, Siting and Streetscape

Further to a reading of the 'Report of Handling', it can be reasonably summarised that the principal explanation for the recommendation to refuse planning permission was formed from a review of the impact of the proposed design when taken in the context of the nearby streetscape. It is noted within the report that the application property is sited *'at the eastern end of... 3 parallel roads leading off Northcote Avenue'* and that each of the 3 areas highlighted has *'2 pairs of facing, hipped roofed semi-detached properties (including the application property)'*.

It is the contention of this appeal that the context from which the assessment is made is subjective and takes into consideration only selected aspects of the immediate streetscape.

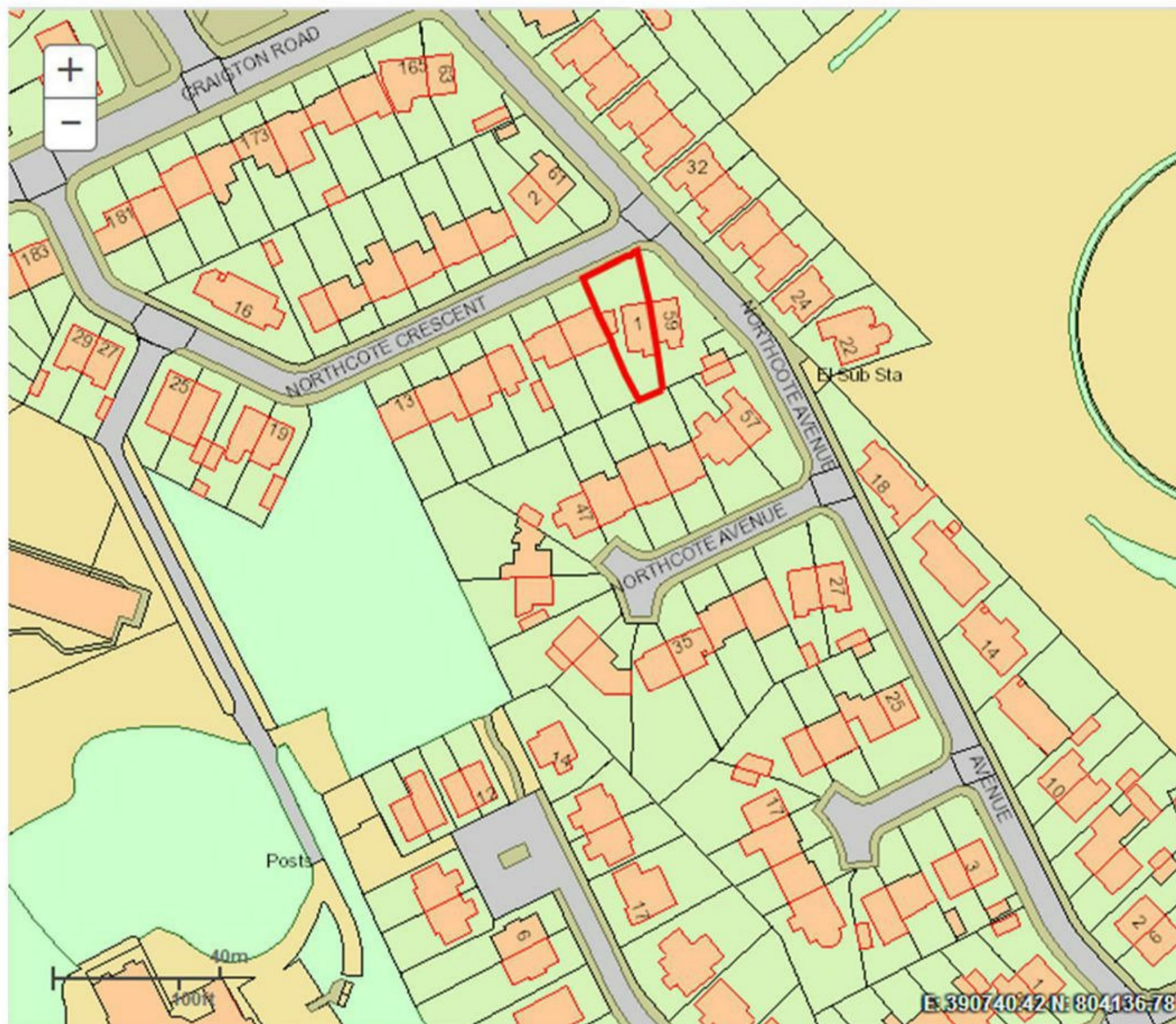


Figure 1 - Northcote Area Map

With reference to 'Figure 1', it can be seen that the application property is situated, as stated, at the eastern most end of Northcote Crescent and is, broadly speaking, facing an equivalent pair of semi-detached properties at 2 Northcote Crescent and 61 Northcote Avenue. When forming the basis of the review, the 'Report of Handling' author has defined the streetscape as the road end properties at the eastern end of Northcote Crescent in conjunction with properties at two additional pairs of positions on Northcote Avenue of addresses:

- 55/57 and 27/29 Northcote Avenue.

- 23/25 and 3/5 Northcote Avenue.

This streetscape has been defined with no apparent cognisance of the significant number of differing house types / alterations / extensions on both Northcote Avenue and Northcote Crescent.

As highlighted within the introduction, the 'Report of Handling' suggests that to approve the proposal would introduce a disruptive form of architecture to an otherwise uniform design theme. To support this analysis, the reader is required to align with the author's conclusions on two fundamental issues:

1. The form of architecture within the proposal is disruptive.
2. There exists a uniform design theme within the area that is in conflict with the proposal.

2.1 Disruptive Architecture

With reference to 'Area Photo 1', the application property of 1 Northcote Crescent can be seen alongside the differing house type of 3 Northcote Crescent.



Area Photo 1

Application Property (1 Northcote Crescent) and Adjacent Property (3 Northcote Crescent)

The submitted proposals drawing (Appendix C), and an extract therefrom overleaf (Figure 2), demonstrate an intent to emulate the design of 3 Northcote Crescent whereby the property exhibits a straight gable end and dormers.

Notice of Review - 1 Northcote Crescent, Aberdeen

Application Reference - 170635/DPP

Applicants - Ryan Swan and Lyndsey Macphee



Figure 2 - Proposed Front Elevation

With 3 Northcote Crescent present in the foreground, 'Area Photo 2' highlights that the design form of a straight gable end and dormers is repeated extensively along Northcote Crescent. This design theme is also repeated in both of the 'dead-end' sections of Northcote Avenue where the majority of the properties within the streetscape also have a straight gable end and dormers.



Area Photo 2
Looking West from Application Property along Northcote Crescent

With the overwhelming prevalence of straight gable ended properties on each of the three referenced areas of streetscape, it is difficult to understand how the author can conclude that the

form of architecture proposed for 1 Northcote Crescent would be disruptive. Upon completion, the architectural form of the application property would, in fact, be significantly more aligned with the design theme of the wider streetscape as opposed to providing a disruption.

It is acknowledged that to approve the current proposal at 1 Northcote Crescent would create an imbalance between the application property and the neighbouring 59 Northcote Avenue. This imbalance, however, is viewed as no worse than that which would result from the installation of box dormers currently advised as approvable under existing guidance.

Whilst it is understood that any assessment of the positive impact that a proposal may have on the amenity of the area will be subjective, it would seem prudent to take account of the view of the planning officer assigned in conjunction with the view of those that reside within the immediate area. Those within said area were made aware of the proposals through the neighbour notification process (Appendix D); of the 16 properties notified, one property took the decision to comment (Appendix E) and positively stated:

'I have no objection to the proposals for 1 Northcote Crescent. I am supportive of the front elevation proposals which are directly opposite my property as they are similar to the better conversions already existing in the area.'

It is interesting to note that Mrs Irene Cormack, the responder, resides at 61 Northcote Avenue and is immediately opposite the application property. It would be reasonable to conclude that had the other 15 neighbours had reason to comment, they would have done so during the notification period.

2.2 Uniform Design Theme

Within the 'Report of Handling', the author wishes to direct the reader to assess the proposal for 1 Northcote Crescent within the parameters of *'the existing streetscape'*. The referred streetscape, however, is noted as being *only* the eastern road end properties of Northcote Crescent and Northcote Avenue, namely:

- 1/59 and 2/61 Northcote Crescent/Avenue.
- 55/57 and 27/29 Northcote Avenue.
- 23/25 and 3/5 Northcote Avenue.

This limiting definition of the streetscape is selective and takes no consideration of the other similar properties within either the immediate vicinity of the application property, or indeed the properties nearby and therefore does not present an impartial and objective basis from which to assess the application.

To conduct a balanced review of the existing streetscape, it would seem reasonable to assess the proposal at 1 Northcote Crescent while referencing the immediate properties as per the neighbour

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Applicants - Ryan Swan and Lyndsey Macphee

notification list or all of the properties within the area as defined by the author. 'Figure 3' below records the position of the application property and proposes that when reviewing the aforementioned road end properties, one should also review, as a minimum, all of the properties on Northcote Crescent and Northcote Avenue.

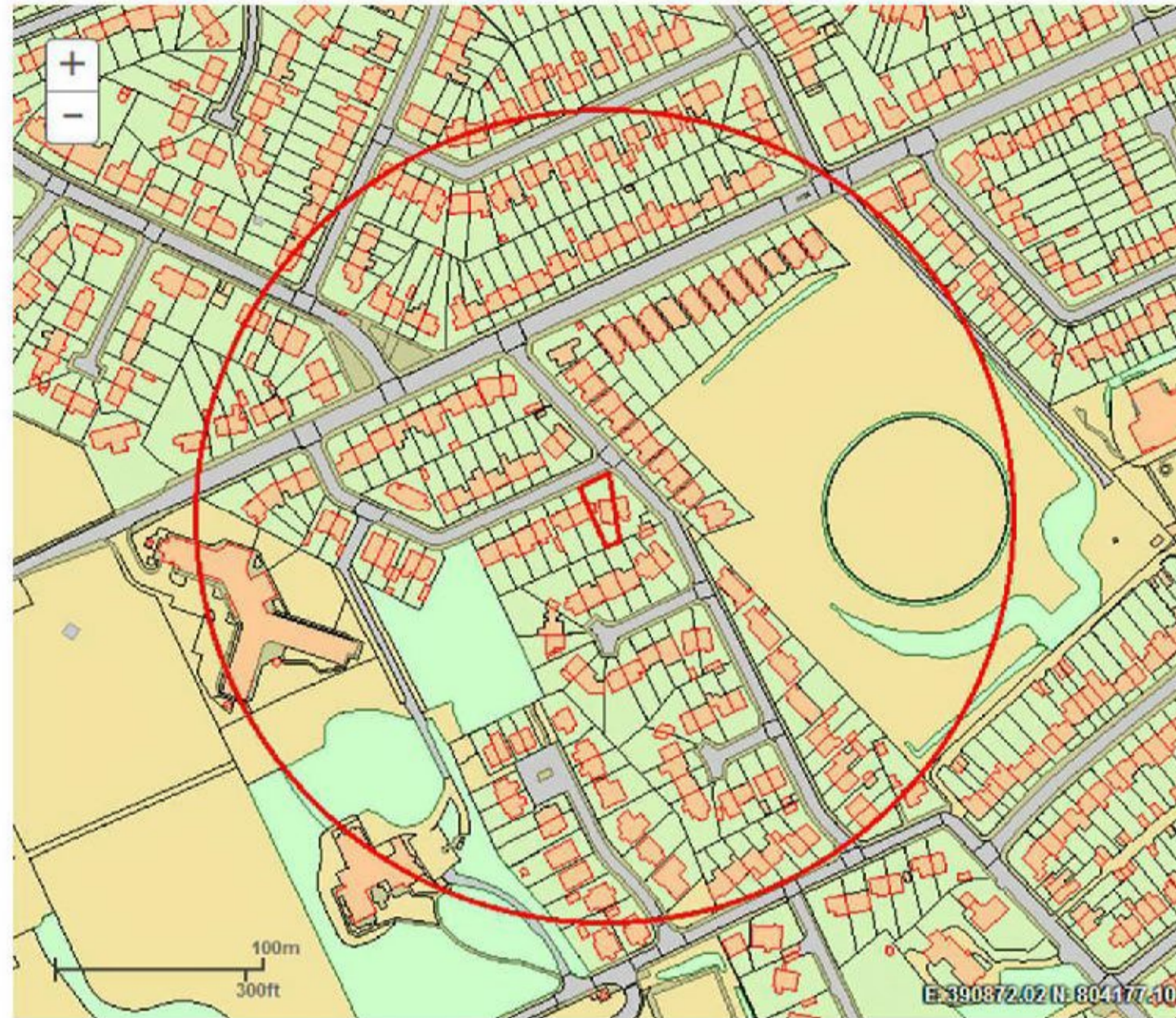


Figure 3 - Proposed Review Area

Within this redefined context, and with reference to 'Figure 4', it is interesting to note that of the 13 original pairs of hipped roof semi-detached properties (as per the application property); only 5 pairs remain unchanged from what could be described as the design intent.

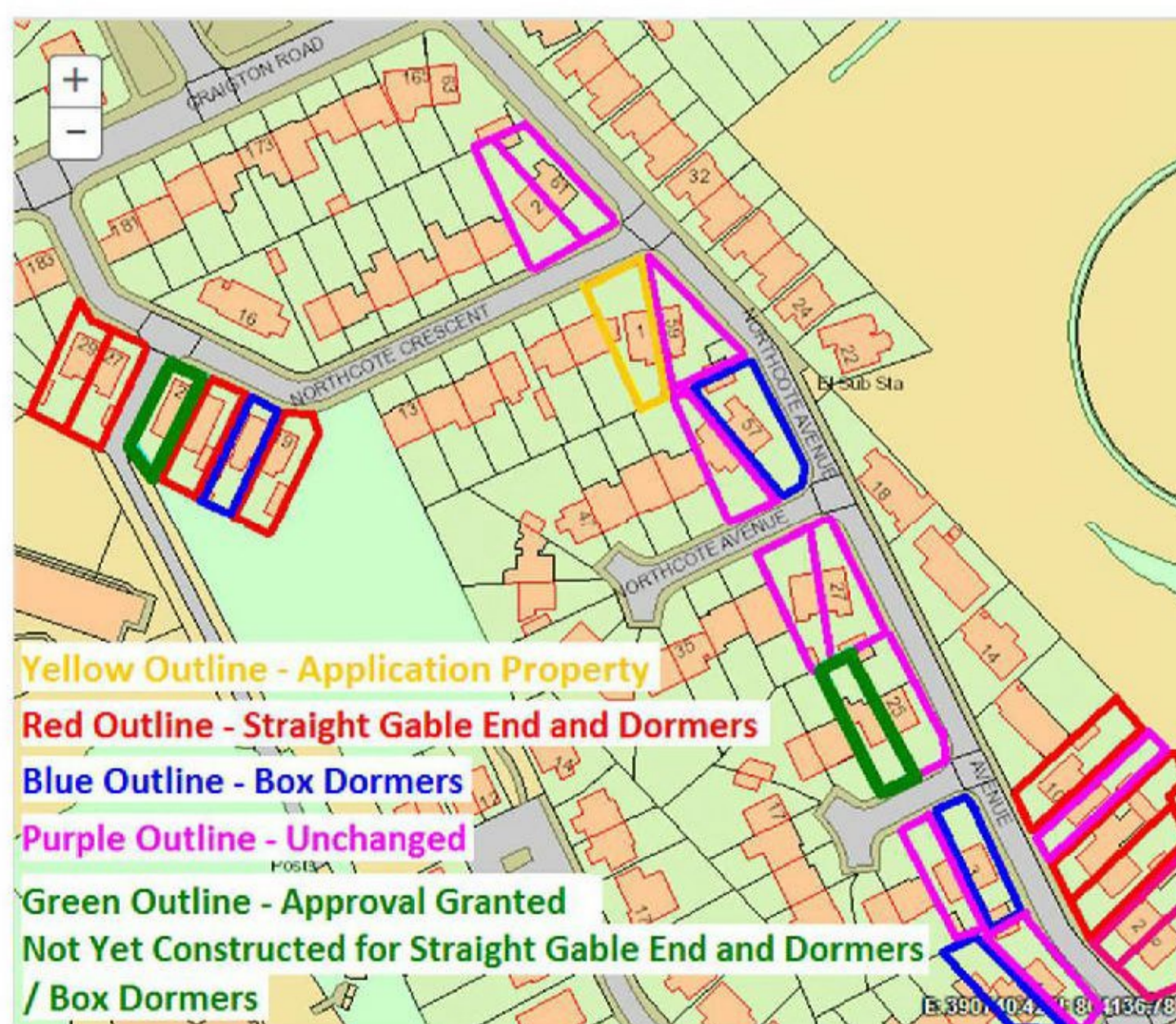


Figure 4 - Previous and Future Development in the Area

Notice of Review - 1 Northcote Crescent, Aberdeen

Application Reference - 170635/DPP

Applicants - Ryan Swan and Lyndsey Macphee

Of these properties, 7 conversions have been completed for hip to gable extensions, with an additional 1 approval granted but not yet constructed:

- 19, 23, 27, 29 Northcote Crescent - Hip to gable extension, conversion completed.
- 4, 6, 10 Northcote Avenue - Hip to gable extension, conversion completed.
- 25 Northcote Crescent - Hip to gable extension, conversion approved.

In addition to these conversions, the installation of large box dormers is evident at a further 4 properties, with approval for a 5th. This further evidencing that the original design intent has evolved with no perceivable impact to either the character or visual amenity of the wider area:

- 21 Northcote Crescent - Box dormer, conversion completed.
- 3, 57 Northcote Avenue - Box dormer, conversion completed.
- 8 Airyhall Road - Box dormer, conversion completed.
- 23 Northcote Avenue - Box dormer, conversion approved.

Additionally, it must be noted that of the highlighted properties that have had large box dormers installed, or have approval to install, 3 are those that have been referenced by the author as properties to be taken into consideration when assessing the existing streetscape (3, 23, 57 Northcote Avenue). Reference pictures below:



19 / 21 Northcote Crescent

23 / 25 Northcote Crescent

27 / 29 Northcote Crescent



6 / 4 Northcote Avenue

10 / 8 Northcote Avenue

3 / 5 Northcote Avenue

Notice of Review - 1 Northcote Crescent, Aberdeen

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Applicants - Ryan Swan and Lyndsey Macphee



55 / 57 Northcote Avenue

8 Airyhall Road /
1 Northcote Avenue

When reviewing Northcote Crescent and Northcote Avenue with respect to what may be considered as the original design intent, it can be seen that there exist some 64 properties in total. Whether as-constructed or through subsequent planned alteration, 45 of these properties currently exhibit a straight gable end and the majority have dormers. Of the 19 properties that remain, 6 properties have been permanently altered through the installation of box dormers or have the requisite planning approval to do so in the future. With these points in mind, it is difficult to understand how the author can conclude:

'...there is a clear and overwhelming predominance of the original design character of hipped roof prevailing within this streetscape...'

It is the contention of this appeal that when taken in the context of Northcote Crescent and Northcote Avenue, the overwhelming majority of the properties align with the proposals as submitted for 1 Northcote Crescent.

As has been shown through 'Figure 4', there is a historic theme of approvals for the formation of a straight hip and dormers on the majority of the previously semi-detached hipped properties on Northcote Crescent. Contrary to the figures stated within the 'Report of Handling', there are 4 properties that have formed straight gables and dormers at the western end of Northcote Crescent with approval for a 5th. The author goes on to note:

'...The application property is not visible in the context of these distant examples, therefore they do not form part of the immediate streetscape against which this application is read and is primarily assessed against...'

This statement is factually incorrect, misleading and is a direct contradiction to the principle that the application must be assessed within the parameters of *'the existing streetscape'*. Reasoning for this is twofold:

1. The referenced properties on Northcote Crescent are geographically closer than the majority of the properties on Northcote Avenue that the author would wish the reader to take consideration of and should therefore not be referenced as *'distant'*.
2. Most significantly, if the litmus test for the inclusion of a particular property within the definition of *'immediate streetscape'* is that said property has to be *'visible'* to the

Notice of Review - 1 Northcote Crescent, Aberdeen

Application Reference - 170635/DPP

Applicants - Ryan Swan and Lyndsey Macphee

application property, why, therefore, should the aforementioned addresses on Northcote Avenue be taken into consideration when the majority cannot be seen from the application property? This when a greater number of the properties at the western end of Northcote Crescent can be seen?



**Junction of Northcote Avenue / Crescent - Looking South
Only 55/57 Northcote Avenue Visible**



**Junction of Northcote Avenue / Crescent - Looking West
19/21 and 23 Northcote Crescent Visible**

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Application Reference - 170635/DPP

Applicants - Ryan Swan and Lyndsey Macphee

With reference to 'Area Photo 2' (page 6), it can be seen that from the application property's driveway, a number of the completed straight gable conversions of the western element of Northcote Crescent are clearly visible. From this position, only the rear elevation of 55/57 Northcote Avenue is visible within the context of the author's defined streetscape. For this reason, it is difficult to understand why the properties on Northcote Avenue form any part of the review process.

To illustrate this point, it is believed that the following images demonstrate that it would be unreasonable to assess the application property against the author's favoured streetscape where said properties are not primarily visible to one another.



(Left-Right) Travelling South along Northcote Avenue from Northcote Crescent



(Left-Right) Travelling North along Northcote Avenue towards Northcote Crescent

When travelling either north or south on Northcote Avenue, there exists no one position whereby all, or even the majority, of the author's referenced properties can be seen together. When the view does expand to include a number of the referenced properties, both the as-constructed and previously altered properties with straight gables become visible also. As documented previously, it is proposed that the application should be considered alongside either the properties as identified through the neighbour notification process, or as part of a review of Northcote Crescent and Northcote Avenue in their entirety. This likely leading to a conclusion that the architecture proposed is not disruptive and would, in fact, augment the existing streetscape.

2.3 Planning Policy and Supplementary Guidance

Within the 'Report of Handling', the recommendation to refuse planning permission provides as its justification reference to Policy D1 (Quality Placemaking by Design), Policy H1 (Residential Areas) and the Supplementary Guidance - 'Householder Development Guide'. If these policies and guidance are explored further, it can be seen that the noncompliance referenced by the author is based on a subjective conclusion of, primarily, the impact that the proposal for 1 Northcote Crescent may have on the area. If, however, it is concluded that the proposal as submitted does *not* have a negative impact on the area, then all parts of the referred policies and guidance are believed to be complied with.

Policy D1 (Quality Placemaking by Design)

Extracted from the 2017 Aberdeen Local Development Plan, Policy D1 (Appendix F) appears to principally relate to the assessment of new developments and not necessarily alterations of existing. It is acknowledged that there are key words of the policy that have been selected by the author such as context, siting and scale; it is believed however that the sections 2.1 and 2.2 of this report suitably address these concerns. Any reference within the 'Report of Handling' to the design, scale or perceived effect of the planned dormers on the streetscape is based on an incorrect assessment of the dimensions proposed and is covered in section '3 Proposed Dormers - Scaling and Dimensions'.

Policy H1 (Residential Areas)

Policy H1 (Appendix F) is specific to residential areas and notes:

'Within existing residential areas... householder development will be approved in principle if it:

1. *Does not constitute overdevelopment;*
 - i. The 'Report of Handling' confirms that the proposal at 1 Northcote Crescent does not constitute overdevelopment.

2. *Does not have an unacceptable impact on the character and amenity of the surrounding area;*
 1. This is linked to both the information as provided in sections 2.1 and 2.2 of this report in conjunction with adherence to point 4 below.
3. *Does not result in the loss of valuable and valued areas of open space...;*
 1. This is not applicable to the application property / proposal.
4. *Complies with Supplementary Guidance...'*
 1. In the context of this application, the supplementary guidance referred is the 'Householder Development Guide' and is explored further below.

Householder Development Guidance

As noted within the 'Report of Handling' and extracted from the 'Householder Development Guidance' (Appendix H):

'The practice of extending a hipped roof on one half of a pair of semi-detached houses to terminate at a raised gable will not generally be accepted unless:

- *Such a proposal would not, as a result of the existing streetscape and character of the buildings therein, result in any adverse impact on the character or visual amenity of the wider area.'*

It has hopefully been demonstrated that the proposal for 1 Northcote Crescent would not have an *adverse* impact on either the character or visual amenity of the area. If this conclusion is accepted, the Supplementary Guidance will be complied with and so too will the component parts of Policy H1 and indeed Policy D1. With this in mind the recommendation should therefore be that permission is granted for the proposals as submitted.

3 Proposed Dormers - Scaling and Dimensions

The 'Report of Handling' records:

'...the dormer would extend 6m across the roof to within 600mm and 400mm of the new gable and boundary separating the pair of semis, respectively...'

The 'Report of Handling also records:

'...While the principle of dormers is acceptable to both elevations, the proposed dormers fail to comply with the Householder Development Guide... In this case, the scale of the dormers would

contribute to a bulky appearance that dominates the altered roof... and would result in an adverse visual impact on the wider streetscape...'

It must be noted that the only plausible explanation for the conclusions that have been made by the author is that the as-submitted proposal drawing (Appendix C) has been interpreted incorrectly. While the proposal drawing does not explicitly note the dimensions of the new dormers for 1 Northcote Crescent, there is a scale provided for use by the reviewer. It can be confirmed that the as-submitted drawing demonstrates a dormer that is greater than 800mm from both the proposed gable and ridge in addition to 600mm from the mutual boundary.

With further reference to 'Appendix H', it can be seen that the 'Householder Development Guide' highlights what is acceptable in terms of the construction of a proposed dormer on a modern property. 'Figure 2' again shows the proposal while 'Figure 3' confirms that the current requirement is a 600mm minimum distance from both the ridge and gable to any new dormer.

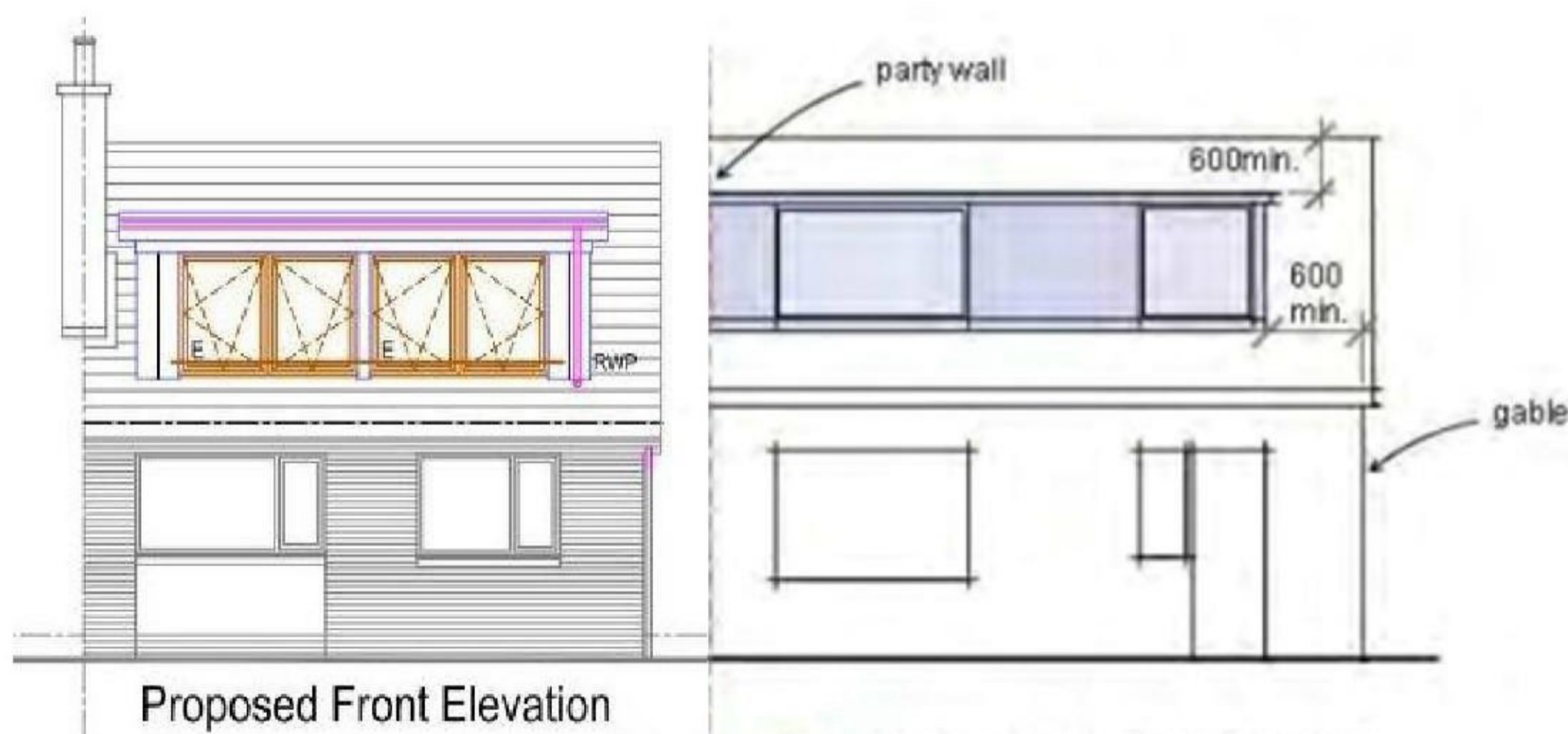


Figure 3 - Proposed Front Elevation

Figure 3 - Extract from 'Householder Development Guide' Highlighting Compliant Dormer Construction

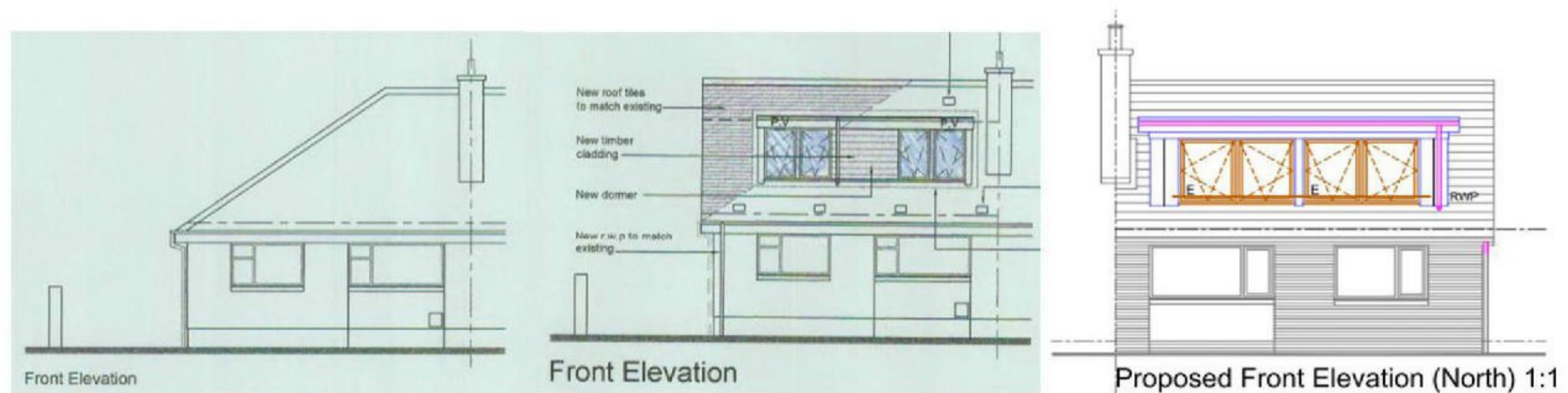
With the confirmation that the application proposal meets the minimum requirements as stipulated within the 'Householder Development Guide', the author's previous statement regarding the proposal being noncompliant is, therefore, incorrect. Even without knowing the proposed dimensions, a cursory check of the visual aesthetic of the application proposal alongside the 'Householder Development Guide' would likely result in the conclusion that said proposal is compliant. It is difficult to understand how the author can then conclude that the proposal would result in '*a bulky appearance that dominates the altered roof*'. The proposal is modest, in proportion and within the current guidance.

If the author was unsure as to the proposed dimensions of the proposed dormers, a query could have been raised with either the applicant or the applicant's agent to confirm. This was not done and has resulted in an unnecessary refusal of the application based on an error.

4 19 Northcote Crescent

On the 20th November 2015, planning permission was granted for the ‘*formation of (a) straight gable, erection of (a) rear extension and dormers to (the) front and rear elevations*’ of 19 Northcote Crescent. With reference to ‘Appendix I’, it can be seen that the proposals as approved are near identical to that which has been proposed for 1 Northcote Crescent. It is important to note that the planning permission granted for the development at 19 Northcote Crescent was done while satisfactorily adhering to Policy D1 (Quality Placemaking by Design), Policy H1 (Residential Areas) and the Supplementary Guidance - ‘Householder Development Guide’.

It is the view of this report that given the unquestionable similarities between the proposals at 1 and 19 Northcote Crescent (demonstrated below), in conjunction with the equal requirement to satisfy the aforementioned policies / guidance, it would be unreasonable to grant permission for one proposal and not the other.



19 Northcote Crescent

19 Northcote Crescent (Approved)

1 Northcote Crescent (Proposed)

Furthermore, and with reference to the ‘Report of Handling’ for 19 Northcote Crescent (Appendix J), there are a number of contrasting conclusions drawn by the respective authors for matters of an equivalent nature. Below is a summary of the opposing conclusions:

	1 Northcote Crescent	19 Northcote Crescent
Context Siting and Streetscape	<p><i>‘The original intended character of the immediate area (that of predominantly semi-detached properties with symmetrical, hipped roofs at the entrance to each successive street accessed from Northcote Avenue) is currently retained and approval of this proposal would initiate design erosion that would result in an irretrievable loss of the character within this section of the streetscape.’</i></p> <p><i>‘It fails to demonstrate due regard for the design and</i></p>	<p><i>‘As the street is predominantly characterised by semi-detached properties with both original gable ends and altered hipped roofs forming gable ends, it is not considered that the proposed hip-to-gable extension to no. 19 Northcote (Crescent) would adversely impact the overall character of the streetscape or the visual amenity of the wider area generally.’</i></p> <p><i>‘...the proposal has been designed to respect the scale</i></p>

Notice of Review - 1 Northcote Crescent, Aberdeen

Application Reference - 170635/DPP

Applicants - Ryan Swan and Lyndsey Macphee

	<i>context of the streetscape...'</i>	<i>and form of the existing dwelling and in addition there would be no significant detrimental impact on the existing visual or residential amenities of the area.'</i>
Planning and Supplementary Guidance	<p><i>'Both front and rear elevations of the application property are clearly visible from nearby streets, and approval of the proposal would negatively impact on the character of the wider streetscape.'</i></p> <p><i>'The proposal does not comply with Policy D1... H1... and the associated 'Householder Development Guide' Supplementary guidance.'</i></p>	<p><i>'The majority of the proposal would be readily viewable from a public vantage point however would not have an adverse impact on the character of the streetscape.'</i></p> <p><i>'All elements of the proposal are considered to comply with the relevant policies... namely Policies D1... H1... and the relevant sections of the Council's Supplementary Guidance: Householder Development Guide'</i></p>
Dormers - Siting and Dimensions	<p><i>'In this case, the scale of the dormers would contribute to a bulky appearance that dominates the altered roof, which is particularly a concern of the front elevation, and would result in an adverse visual impact on the wider streetscape.'</i></p> <p><i>'...it is considered that their scale and dimensions combined with the hipped roof to gable extension would overwhelm and dominate the original appearance of the dwelling house in a manner that fails to demonstrate due regard for its context... the proposal thereby fails to comply with the relevant policies and the associated supplementary guidance.'</i></p>	<p><i>'The design of the proposed dormers is considered to be acceptable within the context of the surrounding properties in terms of scale and design and is considered to blend with the existing architectural character of the existing dwelling. While both dormers would be viewable from sections of Northcote Crescent, it is considered that their formation would have little impact on the visual amenity of the streetscape, given the number of similarly design dormers to the front and rear of adjacent semi-detached properties. In this instance the proposal is considered to meet the requirements of the above guidance.'</i></p>

The significantly contrasting views demonstrated by the two authors for the same proposal, on the same street, under the same guidance highlights that subjectivity plays a major role in the resulting position taken by the planning officer assigned to review an application. In this instance, and with

Notice of Review - 1 Northcote Crescent, Aberdeen

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Applicants - Ryan Swan and Lyndsey Macphee

reference to what appears to be the repeated use of negative and emotive language, the author has unfairly influenced the outcome of the decision taken to refuse planning permission for the application proposal.

In conclusion, it is the view of this report that the recommendation should be to unconditionally approve planning permission for the proposal at 1 Northcote Crescent.

DECISION NOTICE

The Town and Country Planning (Scotland) Act 1997

Detailed Planning Permission

Greig Mathieson
Gordon Scott Architectural Services Ltd
Langavat House
Old Skene Road
Westhill
Aberdeenshire
Scotland
AB32 6UB

on behalf of **Mr & Mrs Ryan Swan**

With reference to your application validly received on 2 June 2017 for the following development:-

**Formation of straight gable and dormer windows to front and rear
at 1 Northcote Crescent, Aberdeen**

Aberdeen City Council in exercise of their powers under the above mentioned Act hereby **REFUSE PLANNING PERMISSION** for the said development in accordance with the particulars given in the application form and the following plans and documents:

<u>Drawing Number</u>	<u>Drawing Type</u>
GS0345-001	Location Plan
GS0345-002 REV B	Elevations and Floor Plans

REASON FOR DECISION

The reasons on which the Council has based this decision are as follows:-

The proposal does not comply with Policy D1 (Quality Placemaking by Design) and H1 (Residential Areas) of the Aberdeen Local Development Plan and the associated 'Householder Development Guide' Supplementary Guidance. It fails to demonstrate

due regard for the design and context of the streetscape, particularly when viewed in the context of the road-end properties along Northcote Avenue, where properties are of a similar design and style to existing, as it would unbalance a pair of semi-detached houses and, by reason of the scale and dimensions of the proposed dormers, would create a top heavy and bulky roof elevation, which would introduce a visually disruptive feature into a streetscape that otherwise retains its original form, character and pattern of development. As a result the proposed development would appear out of context and would impose a negative design feature on the surrounding area. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that the proposal does not accord with Policies H1 (Residential Areas) and D1 (Quality Placemaking by Design) of the Aberdeen Local Development Plan as well as its associated Supplementary Guidance: Householder Development Guide. In this instance there are no material planning considerations that would warrant approval of the application.

Date of Signing 4 August 2017



Daniel Lewis
Development Management Manager

IMPORTANT INFORMATION RELATED TO THIS DECISION

DETAILS OF ANY VARIATION MADE TO ORIGINAL PROPOSAL, AS AGREED WITH APPLICANT (S32A of 1997 Act)

None.

RIGHT OF APPEAL THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997

If the applicant is aggrieved by the decision of the planning authority –

- a) to refuse planning permission;
- b) to refuse approval, consent or agreement required by a condition imposed on a grant of planning permission;
- c) to grant planning permission or any approval, consent or agreement subject to conditions,

the applicant may require the planning authority to review the case under section 43A(8) of the Town and Country Planning (Scotland) Act 1997 within three months

from the date of this notice. Any requests for a review must be made on a 'Notice of Review' form available from the planning authority or at www.eplanning.scot.

Notices of review submitted by post should be sent to Planning and Sustainable Development (address at the top of this decision notice).

SERVICE OF PURCHASE NOTICE WHERE INTERESTS ARE AFFECTED BY A PLANNING DECISION

If permission to develop land is refused and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development that would be permitted, the owners of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part 5 of the Town and Country Planning (Scotland) Act 1997.

Report of Handling Detailed Planning Permission

170635/DPP: Formation of straight gable and dormer windows to front and rear at 1 Northcote Crescent, Aberdeen, AB15 7TE

For: Mr & Mrs Ryan Swan

Application Date:	2 June 2017
Officer:	Sheila Robertson
Ward:	Airyhall/Broomhill/Garthdee
Community Council:	Braeside And Mannofield
Advertisement:	N/A
Advertised Date:	N/A

RECOMMENDATION: Refuse

SITE DESCRIPTION

The application relates to a semi-detached dwelling house which has the appearance of a single storey dwelling house with roof lights providing accommodation at first floor level. The property is of a hipped roofed dwelling house, of mid 20thc design and build, extended to the rear by a flat roofed extension, located on the south-east side of Northcote Crescent and finished with Fyfe stone, render and grey/ brown roof tiles. There is a single roof light on the front, side and rear elevations of the property. There is a garage within the side garden and parking for a number of cars to the front. The pair of semis including the application property occupies a prominent position at the eastern entrance to Northcote Crescent from Northcote Avenue and is set at an angle to the street, facing north east, while the neighbouring properties to the west face north-west. There are a number of properties along Northcote Avenue, at its junctions with Northcote Crescent, and a number of properties accessed from Northcote Avenue further south which are of a similar size and design to the application dwelling.

DESCRIPTION OF PROPOSAL

Planning permission is sought to (a) build up the wall head of the existing gable to form a straight gable and (b) add box dormers to both front and rear elevations. The proposal would add a third bedroom and new shower room to the existing upper floor. A single storey replacement extension is also proposed to the rear elevation however its dimensions and location are such that it constitutes 'permitted development' and does not need to be assessed as part of this application.

The wall head would be built up to form a straight gable, the eaves and roof ridge tying in with existing. The dwelling house would be re-rendered with a smooth white

APPLICATION REF: 170635/DPP

finish and the new gable finished to match existing. The roof would be replaced with grey roof tiles to match the existing tile profile and the extension finished to match.

To the front elevation, the dormer would extend 6m across the roof to within 600mm and 400mm of the new gable and boundary separating the pair of semis, respectively. It would be positioned approximately 800mm down from the roof ridge and 750mm up from eaves. The rear dormer would be of identical dimensions and position within the roof slope. The cheeks of the dormers would be finished with grey tiles.

RELEVANT HISTORY

None

SUPPORTING DOCUMENTS

All drawings and supporting documents listed below can be viewed on the Council's website at <https://publicaccess.aberdeencity.gov.uk/online-applications/>

CONSULTATIONS

None

REPRESENTATIONS

One letter has been received expressing support for the proposal. The representation commented that they were supportive of the front elevation proposals, which are similar to a number of properties in the surrounding area.

PLANNING POLICY

Aberdeen Local Development Plan 2017

- Policy D1 – Quality Placemaking by Design
- Policy H1 – Residential Areas

Other relevant material considerations

- Supplementary Guidance – Householder Development Guide

EVALUATION

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that where, in making any determination under the planning acts, regard is to be had to the provisions of the Development Plan and that determination shall be made in accordance with the plan, so far as material to the application unless material considerations indicate otherwise.

Principle of development

The application site is located within an area zoned for residential use in the adopted Aberdeen Local Development Plan, and relates to an existing dwelling house. The proposal is therefore acceptable in principle subject to an acceptable form and appearance. In determining what constitutes acceptable development, the aforementioned local planning policies and associated supplementary guidance are of relevance.

Design and Scale

General principles expect that all domestic extensions should be architecturally compatible in design and scale with the original house and surrounding area, materials should be complementary and any development should not overwhelm or dominate the original form or appearance of the dwelling house.

The proposal complies with certain elements of Policy D1 and the Supplementary Guidance. The alteration to the gable and new dormers would not result in an increase in the current built site coverage (although the site area would increase as a result of the extension which is deemed as permitted development). The proposed render finish would be acceptable and, although it is stated that the roof would be replaced by tiles of identical profile, had the Planning Authority been minded to grant Planning Permission for this application it would have been subject to an appropriate condition requiring samples of the proposed tiles to be submitted to, and approved by the Planning Authority, prior to development, to ensure visual uniformity between the adjoining roof. The extension's ridge and eaves height would be equal to the existing house thereby respecting its current scale.

However, the Householder Development Guide states that modifying only one half of a hipped roof is likely to result in the roof/ building having an unbalanced appearance. The practice of extending a hipped roof on one half of a pair of semi-detached houses to terminate at a raised gable would not generally be accepted unless the other half of the building has already been altered in this way or such a proposal would not, as a result of the existing streetscape and the character of the buildings therein, result in any adverse impact on the character or visual amenity of the wider area. The SG further states that any development approved prior to the adoption of the guidance cannot be considered as material justification for a proposal that does not otherwise comply. As the application property adjoins another property with an unaltered hipped roof, the proposal does not meet the criteria for the first exception and the proposal therefore falls to be assessed against the second.

In this case, the existing streetscape sees a consistent design theme and pattern of development of 2 pairs of facing, hipped roofed semi-detached properties (including the application property), set at an oblique angle to the street, at the eastern end of each of 3 parallel roads leading off Northcote Avenue – Northcote Crescent, and the 2 dead end sections of Northcote Avenue to the south - followed by pairs of higher, straight gabled semi - detached properties to both sides of the street. It is considered that there is a clear and overwhelming predominance of the original design character of hipped roof prevailing within this streetscape and is within this context that the application property has to be read, and assessed on its own merits. The original intended character of the immediate area (that of predominantly semi-detached properties with symmetrical, hipped roofs at the entrance to each successive street

accessed from Northcote Avenue) is currently retained and approval of this proposal would initiate design erosion that would result in an irretrievable loss of the character within this section of the streetscape. The introduction of a straight gable to one half of the pair of semis would introduce a disruptive form of architecture to an otherwise uniform design theme in addition to unbalancing a pair of semi-detached dwellings, and thereby would not make a positive contribution to its setting.

It is noted that progressing westwards along Northcote Crescent, the road turns sharp north west, where there are 3 pairs of originally fully hipped roofed properties to the south west side of the street, 3 properties having since formed straight gables. The application property is not visible in the context of these distant examples, therefore they do not form part of the immediate streetscape against which this application is read and is primarily assessed against.

To permit such an alteration would clearly disrupt the original character of the pattern of development. Equally, the fact that such alterations have been permitted in the past does not mean that these instances demonstrated a high level of design consciousness, or that the context was the same as this current situation. It is also important to point out that there has been a considerable change in approach by Aberdeen City Council in relation to design quality and a significant elevation in its importance in improving the quality of the environment of the city. It is accepted that there have been some less than ideal decisions in the past, based on today's standards, but it is important that these are not compounded and exacerbated such that the quality of place is further eroded.

While the principle of dormers is acceptable to both elevations, the proposed dormers fail to comply with the Householder Development Guide, which expects new dormers to be of appropriate scale and dimensions that respect the scale of the building and do not dominate or overwhelm the roof. In this case, the scale of the dormers would contribute to a bulky appearance that dominates the altered roof, which is particularly a concern for the front elevation, and would result in an adverse visual impact on the wider streetscape. The dimensions and subsequent dominance of the roof elevations would further exacerbate the imbalance with the adjoining semi and detract from the existing level of symmetry of both the application property and that demonstrated by several similar properties in the locality, all to the detriment of design quality. Both front and rear elevations of the application property are clearly visible from nearby streets, and approval of the proposal would negatively impact on the character of the wider streetscape. The reasons mentioned above demonstrate that the dormers have not been designed with due regard for their context, and would not make a positive contribution to the property's setting, as required by Policy D1 (Architecture and Placemaking) and would be contrary to the guidance contained in the associated Supplementary Guidance: Householder Development Guide. There are no material planning considerations that would warrant approval of the application contrary to this policy and guidance.

Impact on Residential Amenity

No extension or alteration should result in a situation where the amenity of any neighbouring properties would be adversely affected. Significant adverse impact on privacy, daylight and general amenity will count against a development proposal.

Calculations, based on the '45 degree rule' as set out in the British Research Establishment's Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice' indicate that neither the altered gable nor dormers would have a detrimental impact on neighbouring properties in terms of either daylight receipt or adverse overshadowing.

There would be a minimum separation distance of at least 27m between the proposed rear dormer and the nearest windows to the rear of properties on Northcote Avenue, which is well outwith the minimum separation distance of 18m required between facing windows to ensure internal privacy. In addition the proposed dormer would not be on the same plane or directly face any windows, its line of sight being slightly offset. There would be minimal additional overlooking of neighbouring rear gardens than exists at present from the upper windows of neighbouring properties to the rear; however it would be within an acceptable level. The dormer to the principle elevation would not result in any loss of privacy to the facing properties on the north side of Northcote Crescent, there being no direct line of sight.

Current residential amenity would be retained in compliance with Policy H1.

Conclusion

To summarise, whilst it is acknowledged that there are several properties to the opposite end of Northcote Crescent with approved planning applications for a hipped roof to gable extension, it is considered that in this instance, given the context and siting of the application property, which occupies a prominent location within the streetscape, and a number of similar road end properties on Northcote Avenue, the gable alteration would create an unbalanced look between the pair of semis. The principle of forming dormers to the front and rear elevations is acceptable, however it is considered that their scale and dimensions combined with the hipped roof to gable extension would overwhelm and dominate the original appearance of the dwelling house in a manner that fails to demonstrate due regard for its context or make a positive contribution to its setting by introducing an intrusive element to the streetscape, which would degrade the current pattern of development. For the aforementioned reasons, the proposal thereby fails to comply with the relevant policies and the associated supplementary guidance contained within the Adopted Aberdeen Local Development Plan and there are no material planning considerations that would warrant approval of this application.

RECOMMENDATION: Refuse

REASONS FOR RECOMMENDATION

The proposal does not comply with Policy D1 (Quality Placemaking by Design) and H1 (Residential Areas) of the Aberdeen Local Development Plan and the associated 'Householder Development Guide' Supplementary Guidance. It fails to demonstrate due regard for the design and context of the streetscape, particularly when viewed in the context of the road-end properties along Northcote Avenue, where properties are of a similar design and style to existing, as it would unbalance a pair of semi-detached houses and, by reason of the scale and dimensions of the proposed

dormers, would create a top heavy and bulky roof elevation, which would introduce a visually disruptive feature into a streetscape that otherwise retains its original form, character and pattern of development. As a result the proposed development would appear out of context and would impose a negative design feature on the surrounding area. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that the proposal does not accord with Policies H1 (Residential Areas) and D1 (Quality Placemaking by Design) of the Aberdeen Local Development Plan as well as its associated Supplementary Guidance: Householder Development Guide. In this instance there are no material planning considerations that would warrant approval of the application.

- EXTERNAL FINISHES:-**
1. House Re-roofed With Grey Roof Tiles Of A Profile To Match Existing
 2. House Re-rendered In Smooth White Render
 3. Corner Halfs Cast In Grey Baby Pink Tile
 4. Dormer Facades Finished In Grey Composite Or Zinc Panels To Match Windows
 5. White UPVC Windows Replaced With Grey Woodgrain UPVC Units
 6. White UPVC Door Replaced With Grey Composite Unit
 7. Existing Timber Fasciae and Soffits To Be Replaced With Grey UPVC Fasciae And Soffits

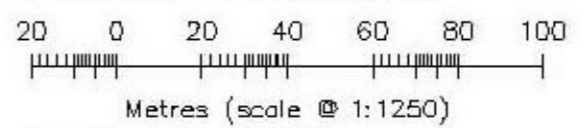
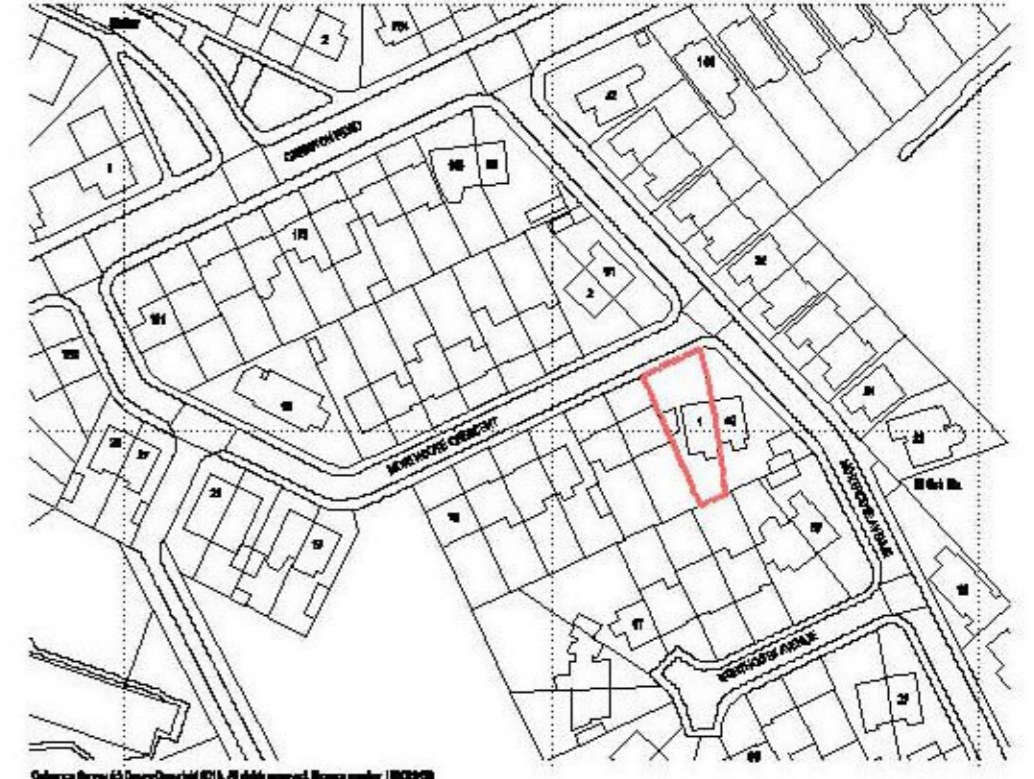


Proposed Front Elevation (North) 1:100

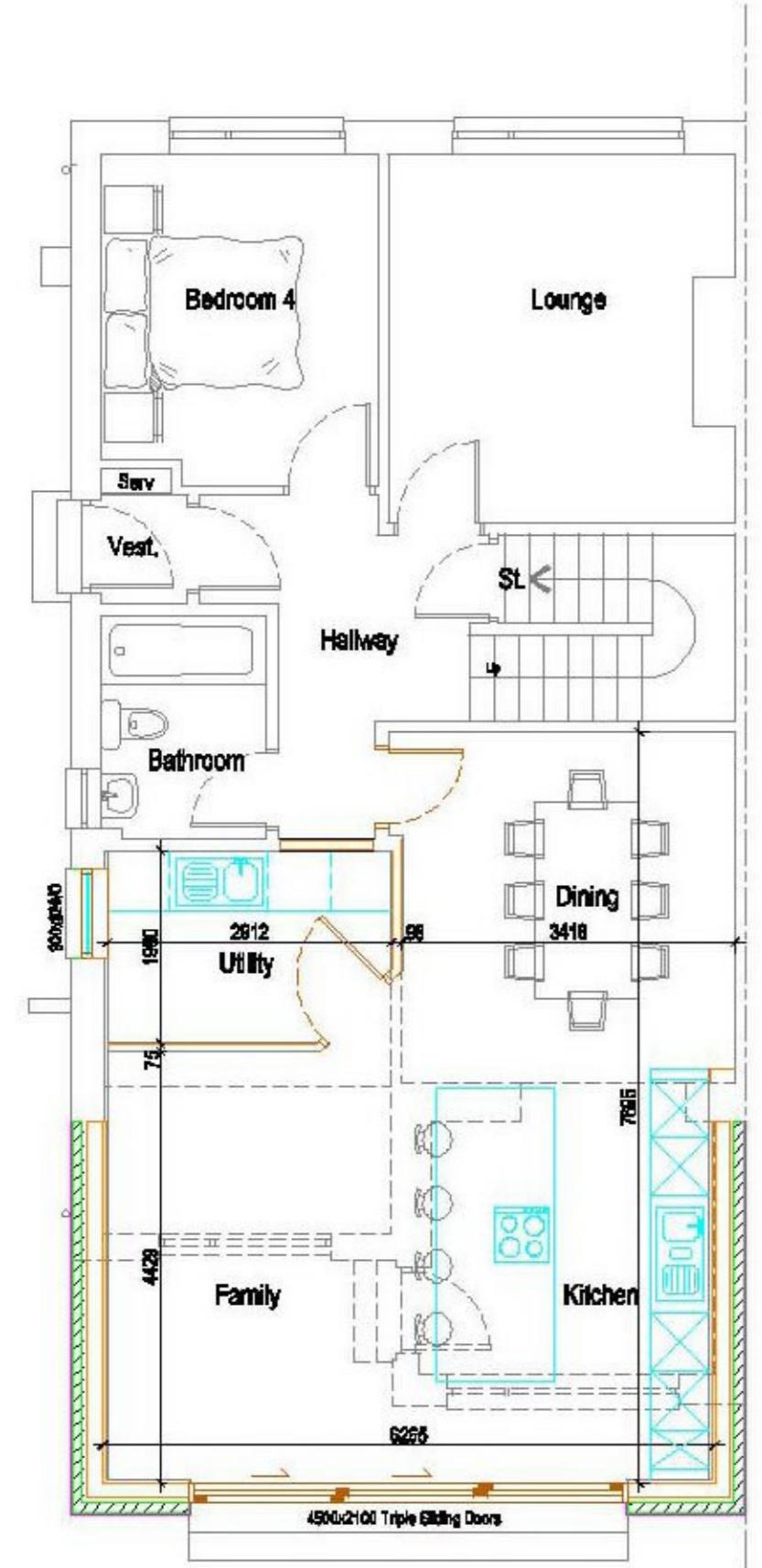
Proposed Side Elevation (West)

Rear Elevation (South)

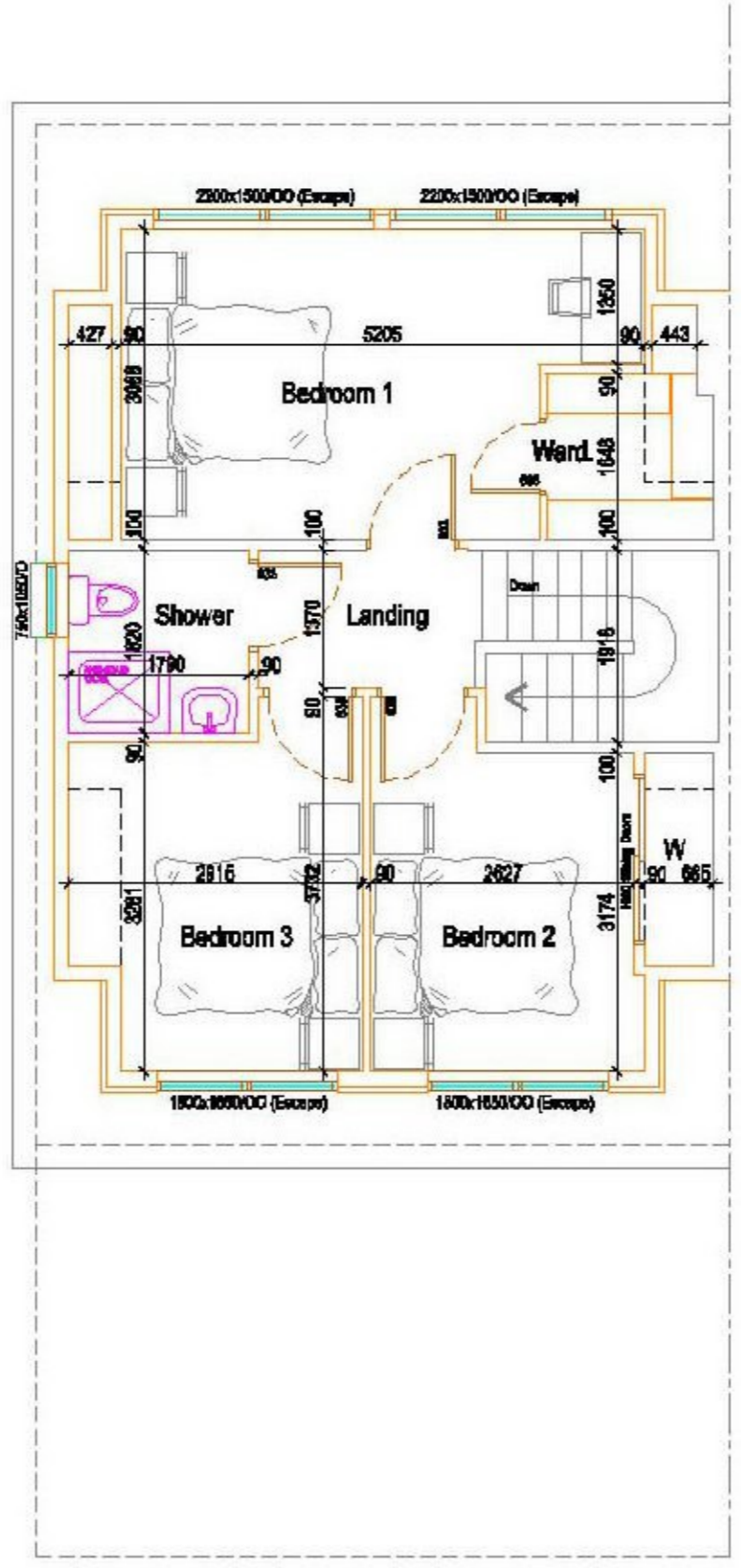
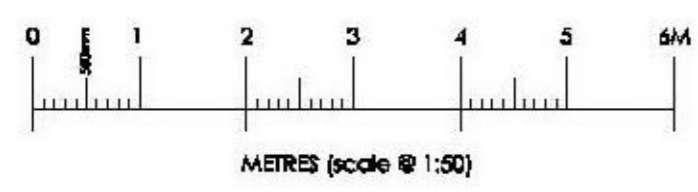
Proposed Side Elevation (East)



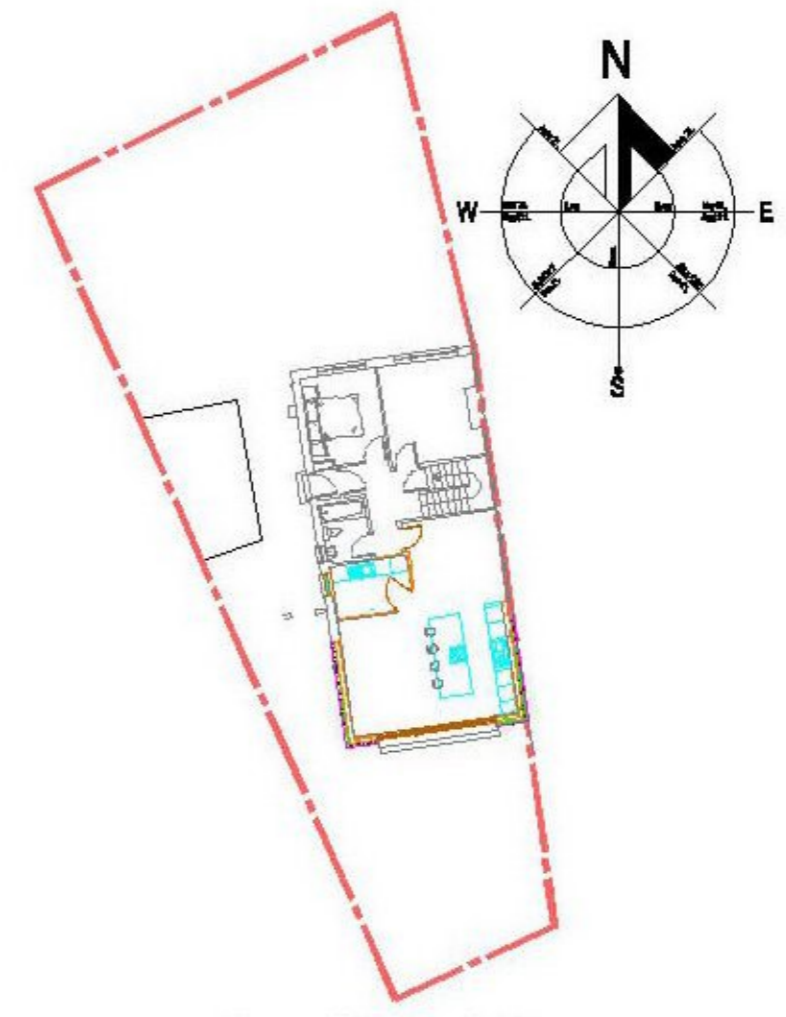
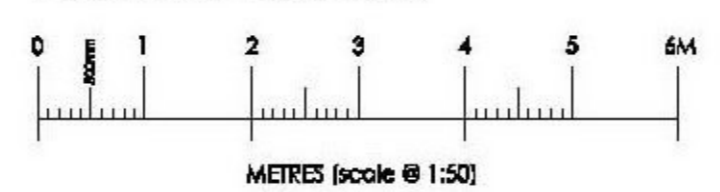
Location Plan 1:1250



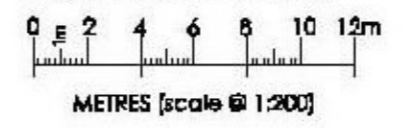
Ground Floor Plan 1:50



First Floor Plan 1:50



Proposed Site Plan 1:200



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Rev	Description	Date
B	FURTHER CLIENT ALTS	03 06.2017
A	CLIENT/PLANNING ALTS	03 06.2017

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Mob Tel: 07711 716403
e-mail: gordon.sc@btinternet.com

Client:
Ryan and Lyndsey Swan,
(Proposed House Drawings)

Title:
Proposed House Extension,
1 Northcote Crescent,
Aberdeen.
AB15 7TE

scale:	drawn:	date:	Dwg No:	rev:
1:50, 1:100, 2:00	G.Scott	11.29.16	GS0345-002	B

List of Notified Neighbours

170635/DPP - Formation of straight gable and dormer windows to front and rear

1 Northcote Crescent
Aberdeen
AB15 7TE

The following neighbouring properties were notified on 2 June 2017:

7 Northcote Crescent Aberdeen AB15 7TE

49 Northcote Avenue Aberdeen AB15 7TD

57 Northcote Avenue Aberdeen AB15 7TD

28 Northcote Avenue Aberdeen AB15 7TN

30 Northcote Avenue Aberdeen AB15 7TN

32 Northcote Avenue Aberdeen AB15 7TN

34 Northcote Avenue Aberdeen AB15 7TN

61 Northcote Avenue Aberdeen AB15 7TL

2 Northcote Crescent Aberdeen AB15 7TJ

4 Northcote Crescent Aberdeen AB15 7TJ

55 Northcote Avenue Aberdeen AB15 7TD

3 Northcote Crescent Aberdeen AB15 7TE

59 Northcote Avenue Aberdeen AB15 7TD

51 Northcote Avenue Aberdeen AB15 7TD

5 Northcote Crescent Aberdeen AB15 7TE

53 Northcote Avenue Aberdeen AB15 7TD

Comments for Planning Application 170635/DPP

Application Summary

Application Number: 170635/DPP

Address: 1 Northcote Crescent Aberdeen AB15 7TE

Proposal: Formation of straight gable and dormer windows to front and rear

Case Officer: Sheila Robertson

Customer Details

Name: Mrs Irene Cormack

Address: 61 Northcote Avenue Aberdeen

Comment Details

Commenter Type: Neighbour

Stance: Customer made comments in support of the Planning Application

Comment Reasons:

Comment: I have no objection to the proposals for 1 Northcote Crescent. I am supportive of the front elevation proposals which are directly opposite my property as they are similar to the better conversions already existing in the area.

This Section of the Plan sets out the Council's policies for ensuring that new development contributes to achieving our vision of a sustainable city and how we will meet the objectives and targets of the Strategic Development Plan.

Quality Placemaking by Design

3.1 Quality placemaking is at the core of planning in Aberdeen. Scottish Planning Policy, Creating Places: A Policy statement on Architecture and Place for Scotland, and Designing Streets promote the delivery of well-designed places and sustainable communities through good planning. Quality placemaking plays a positive part in reducing the impact of climate change and improving health and well-being.

3.2 Quality placemaking is about creating development that sustains and enhances the social, economic, environmental and cultural attractiveness of the city as a place to be and is a material consideration in determining applications. Placemaking requires a collaborative process to achieving development that complements and enhances the site context and can be measured by six essential qualities: **a distinct identity, welcoming, safe and pleasant, easy to move around, adaptable to changing circumstances and is resource efficient.**

3.3 All development must follow a thorough process of site context appraisal to arrive at an appropriate proposal. Context will differ from site to site, however significant characteristics include: siting; scale; mass; detail; proportion; materials; colour; orientation; land designation; surrounding uses; transportation and connectivity; existing building heights; landscaping; natural heritage features; topography; views and the relationship to streets and open spaces. Not all development will be of a scale to make a significant placemaking impact, however all good design and detail adds to the attractiveness of the built and natural environment and careful consideration is crucial. All development, from window replacements to large developments, represents an opportunity to add to the rich placemaking legacy of our built environment.

3.4 Aberdeen encourages an engaging, designed approach to secure quality placemaking through the appropriate use of pre-application discussion, the application of the masterplan process and on design matters. The Aberdeen City and Shire Design Review Panel offers professional, peer advice to support the decision making process. (See relevant Technical Advice Note)

Policy D1 - Quality Placemaking by Design

All development must ensure high standards of design and have a strong and distinctive sense of place which is a result of context appraisal, detailed planning, quality architecture, craftsmanship and materials. Well considered landscaping and a range of transportation opportunities ensuring connectivity are required to be compatible with the scale and character of the developments.

Places that are distinctive and designed with a real understanding of context will sustain and enhance the social, economic, environmental and cultural attractiveness of the city. Proposals will be considered against the following six essential qualities;

- **distinctive**
- **welcoming**
- **safe and pleasant**
- **easy to move around**
- **adaptable**
- **resource efficient**

How a development meets these qualities must be demonstrated in a design strategy whose scope and content will be appropriate with the scale and/or importance of the proposal.

To further ensure there is a consistent approach to placemaking throughout the city, the Aberdeen Masterplan Process will be applied to larger sites within the city.

Further guidance can be found within the supplementary guidance detailed below and Technical Advice notes listed in Appendix 4 Masterplans and Appendix 5 Supplementary Guidance.

Residential and mixed use development within the area surrounding the harbour must take account of the character of the area and avoid undue conflict with adjacent harbour-related land uses. New development must not impinge upon the viability or operational efficiency of the harbour, or of existing businesses within the harbour zoned area. Mitigation measures may be required in order to permit uses which could otherwise give rise to such conflict.

Pipelines, Major Hazards and Explosives Storage Sites

3.74 Within Aberdeen City, there are a number of high pressure pipelines and sites where hazardous substances or explosives are stored. For each of these sites a consultation zone has been established by the Health and Safety Executive to ensure that only appropriate new or replacement development takes place and that there is no increased risk to public safety.

Policy B6 - Pipelines, Major Hazards and Explosives Storage Sites

Where certain types of new development are proposed within the consultation zones of pipelines, major hazards and explosive storage sites, the Council will be required to consult the Health and Safety Executive (HSE) to determine the potential risk to public safety.

The Council will take full account of the advice from the HSE in determining planning applications. In addition to consultation with the HSE, the Council will consult the operators of pipelines where development proposals fall within these zones. Pipeline consultation zones are shown on the LDP Constraints Map.

Meeting Housing and Community Needs

3.75 Our vision for Aberdeen as a place which offers a high quality of life requires us to create sustainable communities in which amenity is maintained to a high level and for a wide choice of housing styles and types to be made available for everyone.

Policy H1 - Residential Areas

Within existing residential areas (H1 on the Proposals Map) and within new residential developments, proposals for new development and householder development will be approved in principle if it:

- 1 does not constitute over development;
- 2 does not have an unacceptable impact on the character and amenity of the surrounding area;
- 3 does not result in the loss of valuable and valued areas of open space. Open space is defined in the Aberdeen Open Space Audit 2010; and
- 4 complies with Supplementary Guidance.

Within existing residential areas, proposals for non-residential uses will be refused unless:

- 1 they are considered complementary to residential use; or
- 2 it can be demonstrated that the use would cause no conflict with, or any nuisance to, the enjoyment of existing residential amenity.

Any proposed loss of Local Shops or Community facilities would need to comply with the relevant policies Policy CF1 Existing Community Sites and Facilities and Policy NC7 Local Shop Units.



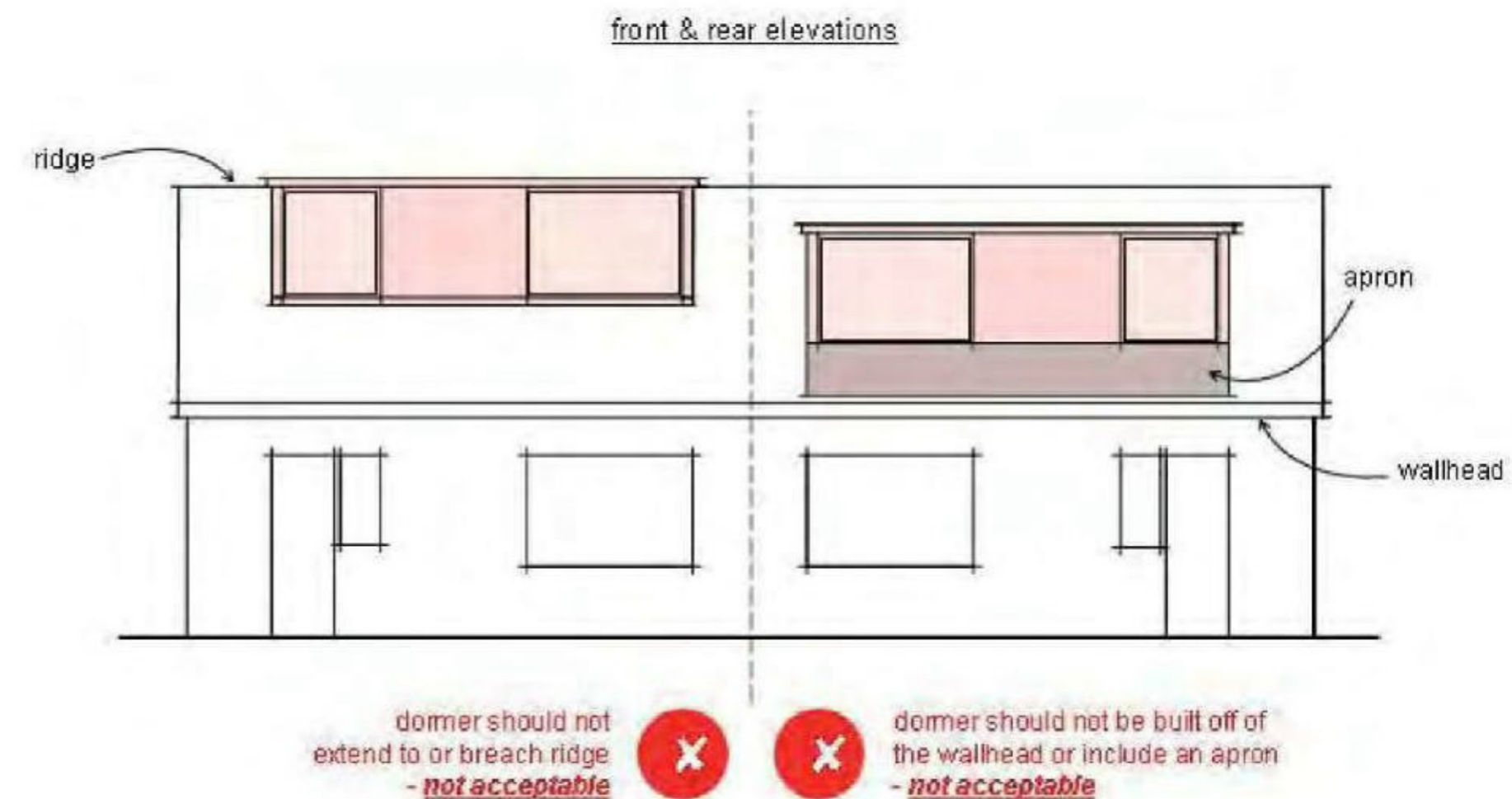
MODERN PROPERTIES

Dormers and box dormer extensions have become common features in many modern housing areas, and the wide variety of designs of modern dwellings necessitates a greater flexibility in terms of design guidance. The amenity of other properties and the residential neighbourhood must however, still be protected, with the integrity of the building being retained after alteration.

The following basic principles may be used to guide the design and scale of any new dormer extension:

- The dormer extension should not appear to dominate the original roofspace;
- The dormer extension should not be built directly off the front of the wallhead as the roof will then have the appearance of a full storey. On public elevations there should be no apron below the window, although a small apron may be acceptable on the rear or non-public elevations. Such an apron would be no more than three slates high or 300mm, whichever is the lesser;
- The roof of the proposed extension should not extend to, or beyond the ridge of the existing roof, nor should it breach any hip. Dormer extensions cannot easily be formed in hipped roofs. Flat roofed extensions should generally be a minimum of 600mm below the existing ridge;

- The dormer extension should be a minimum of 600mm in from the gable. The dormer haffit should never be built off the gable or party walls, except perhaps in the situation of a small semi-detached house where the dormer extension may sometimes be built off the common boundary. In terrace situations, or where a detached or semi-detached bungalow is very long, dormer extensions should be kept about 1500mm apart (i.e. dormer haffits should be 750mm back from the mutual boundary) so as not to make the dormer appear continuous or near continuous;

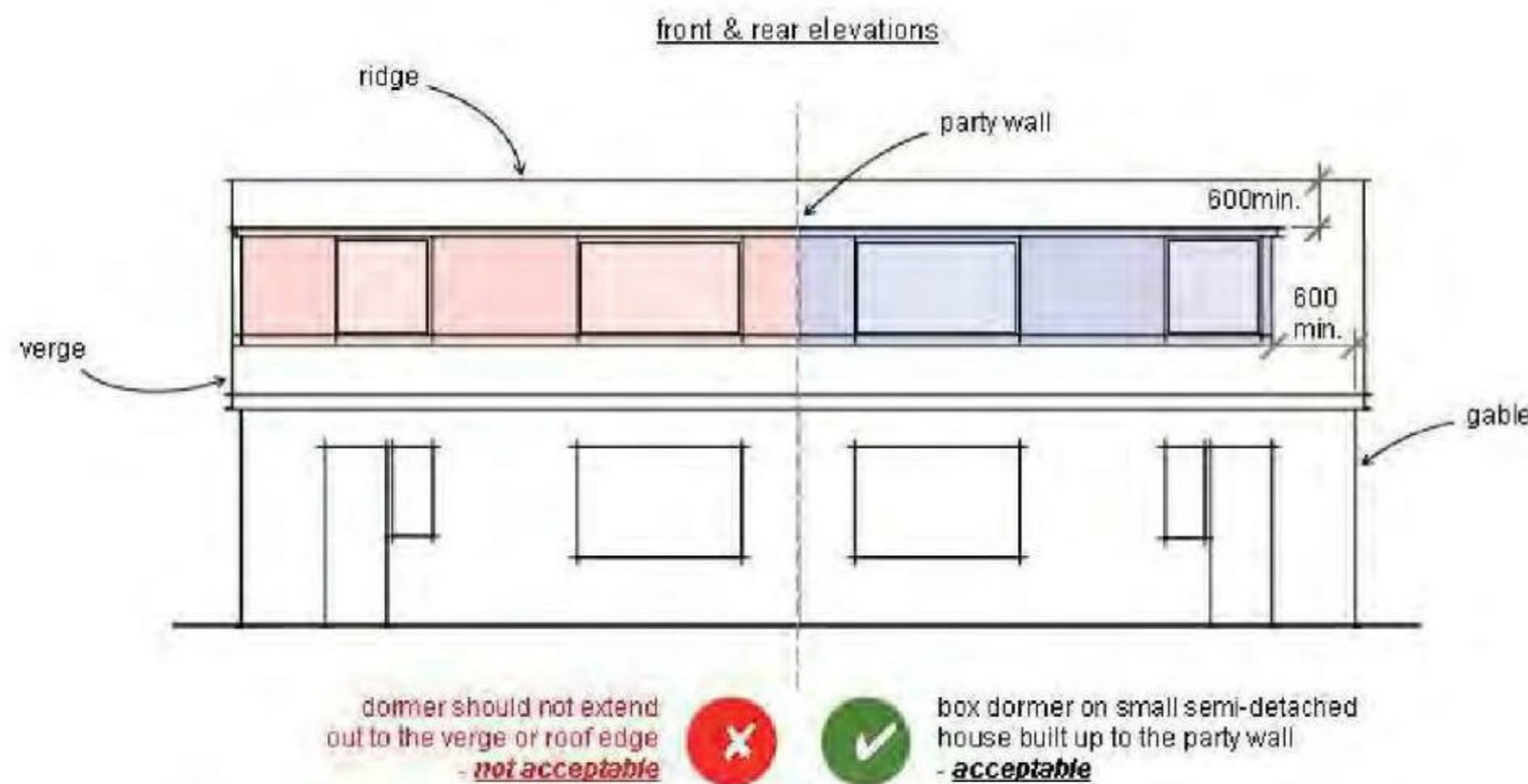
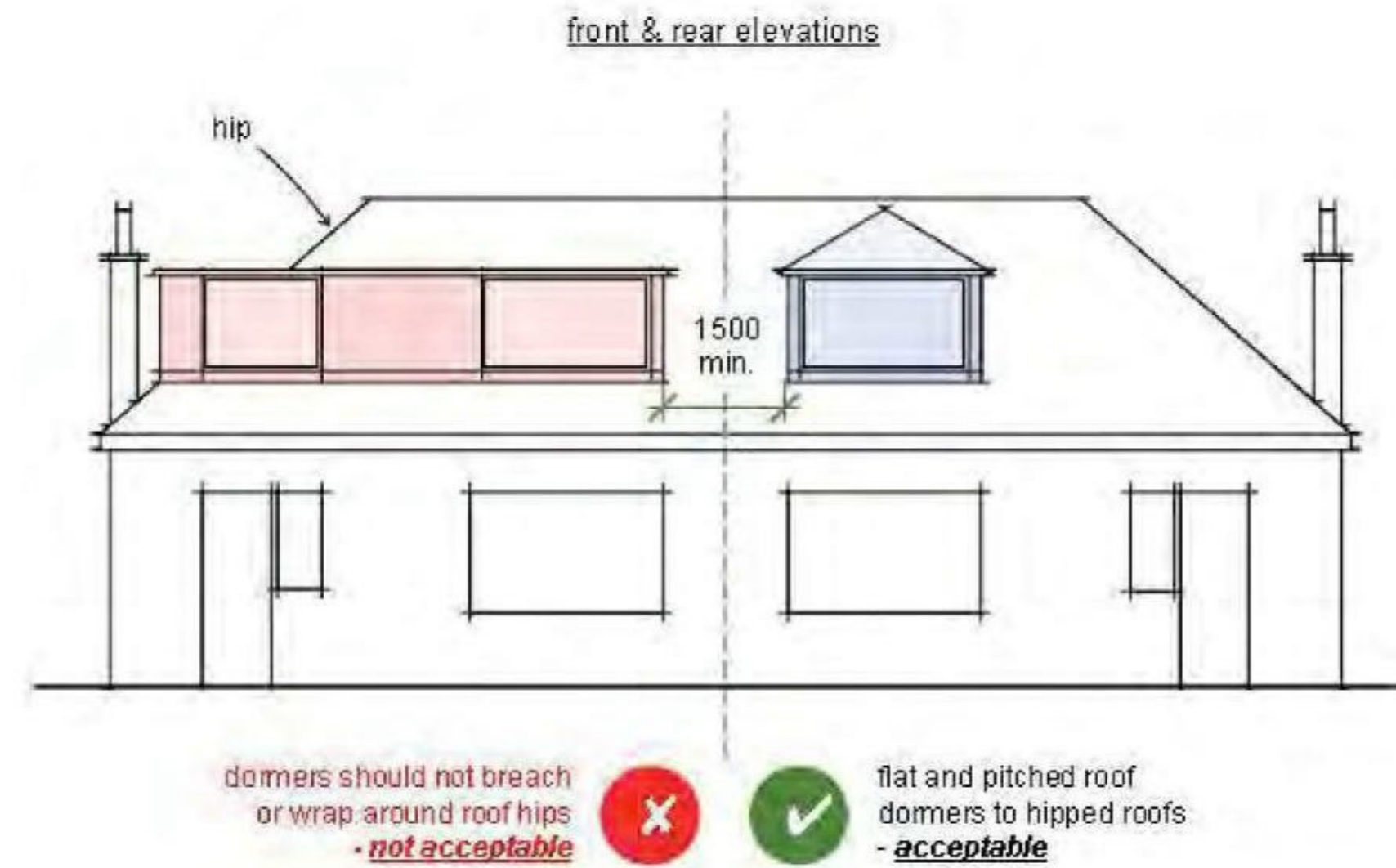


Dormers Modern Properties





- The outermost windows in dormer extensions should be positioned at the extremities of the dormer. Slated or other forms of solid panel will not normally be acceptable in these locations. In the exception to this situation, a dormer on a semi-detached house may have a solid panel adjacent to the common boundary when there is the possibility that the other half of the house may eventually be similarly extended in the foreseeable future. In this case the first part of the extension should be so designed as to ensure that the completed extension will eventually read as a single entity;



Dormers Modern Properties

Dormers Modern Properties

- There should be more glazing than solid on the face of any dormer extension;
- Box dormer extensions should generally have a horizontal proportion. This need not apply however, to flat roofed individual dormers which are fully glazed on the front;
- Finishes should match those of the original building and wherever possible the window proportion and arrangement should echo those on the floor below; and
- The design of any new dormer extension should take account of the design and scale of the existing dormer.





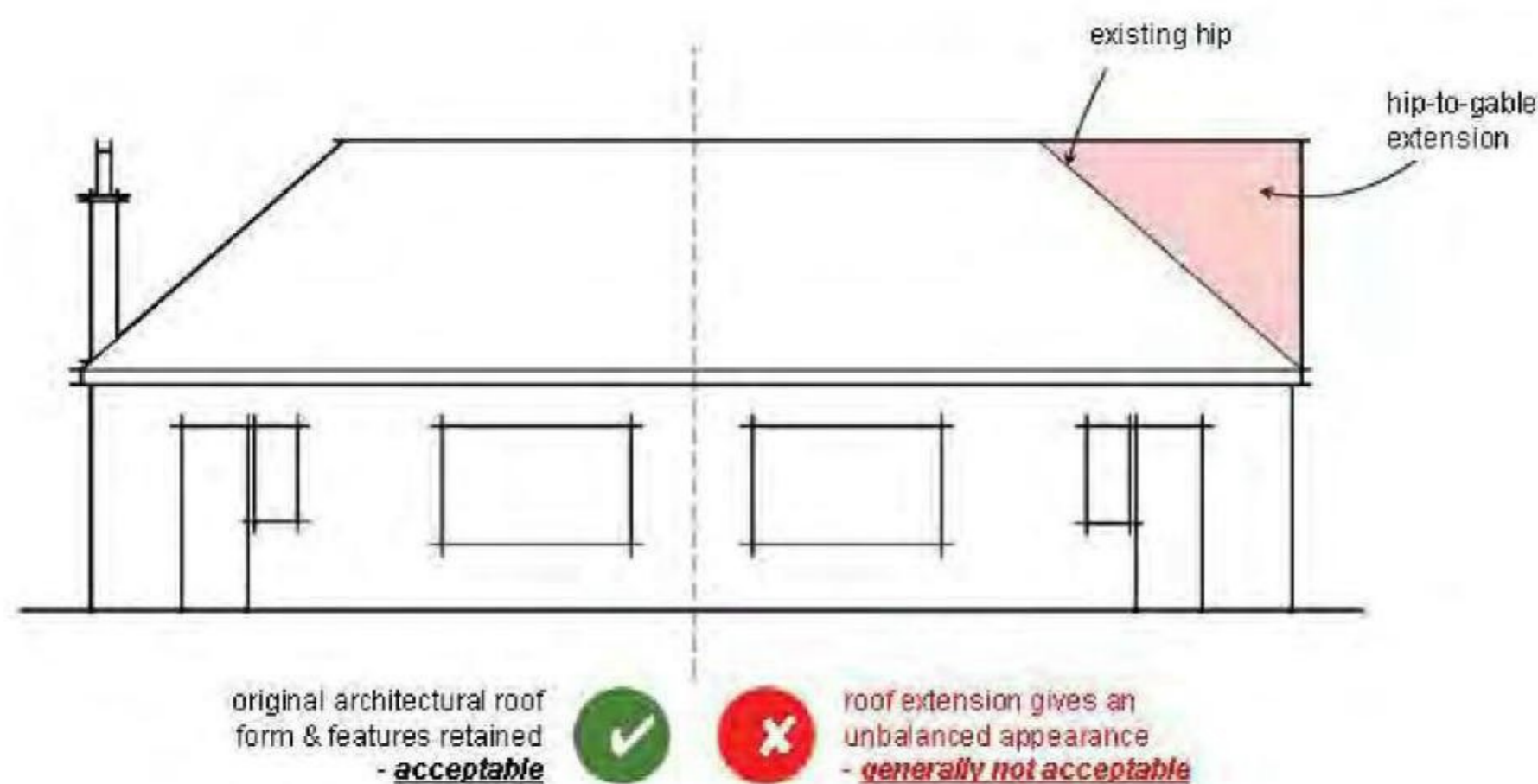
3.1.8 Roof Extensions

Hipped roof extensions

Modifying only one half of a hipped roof is likely to result in the roof having an unbalanced appearance.

The practice of extending a hipped roof on one half of a pair of semi-detached houses to terminate at a raised gable will not generally be accepted unless:

- The other half of the building has already been altered in this way; or
- Such a proposal would not, as a result of the existing streetscape and character of the buildings therein, result in any adverse impact on the character or visual amenity of the wider area.

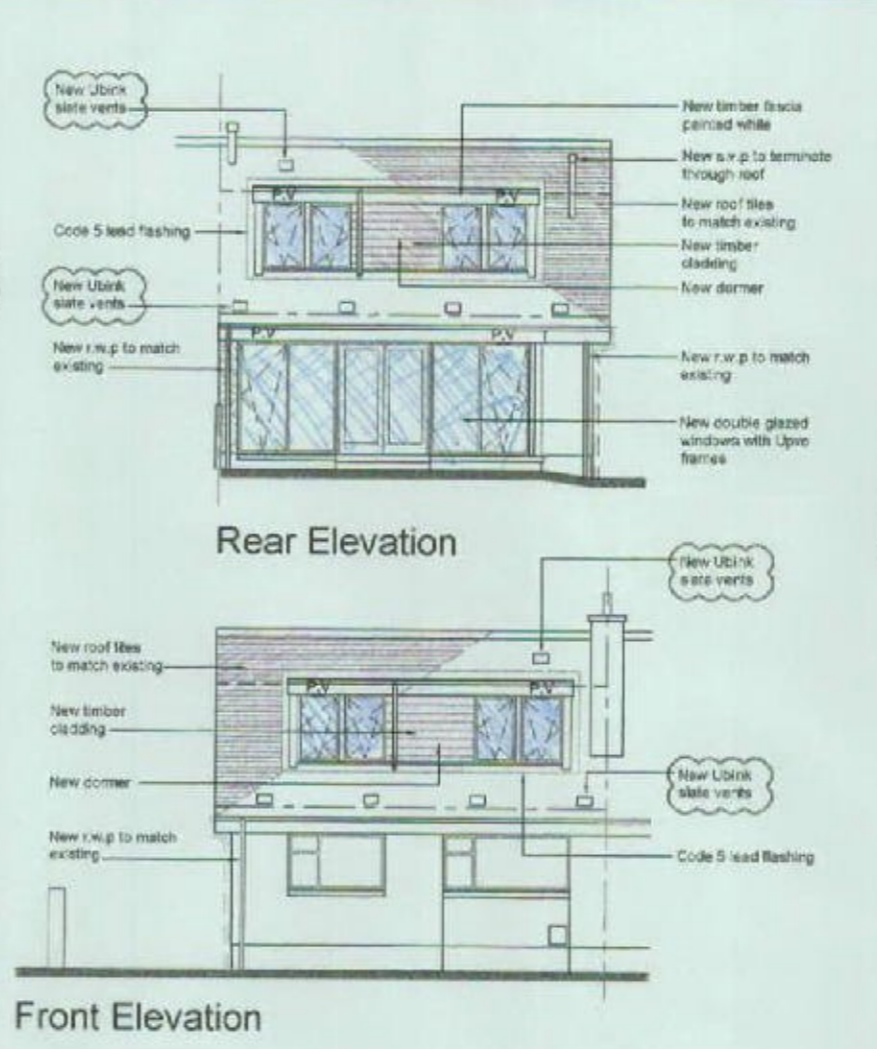
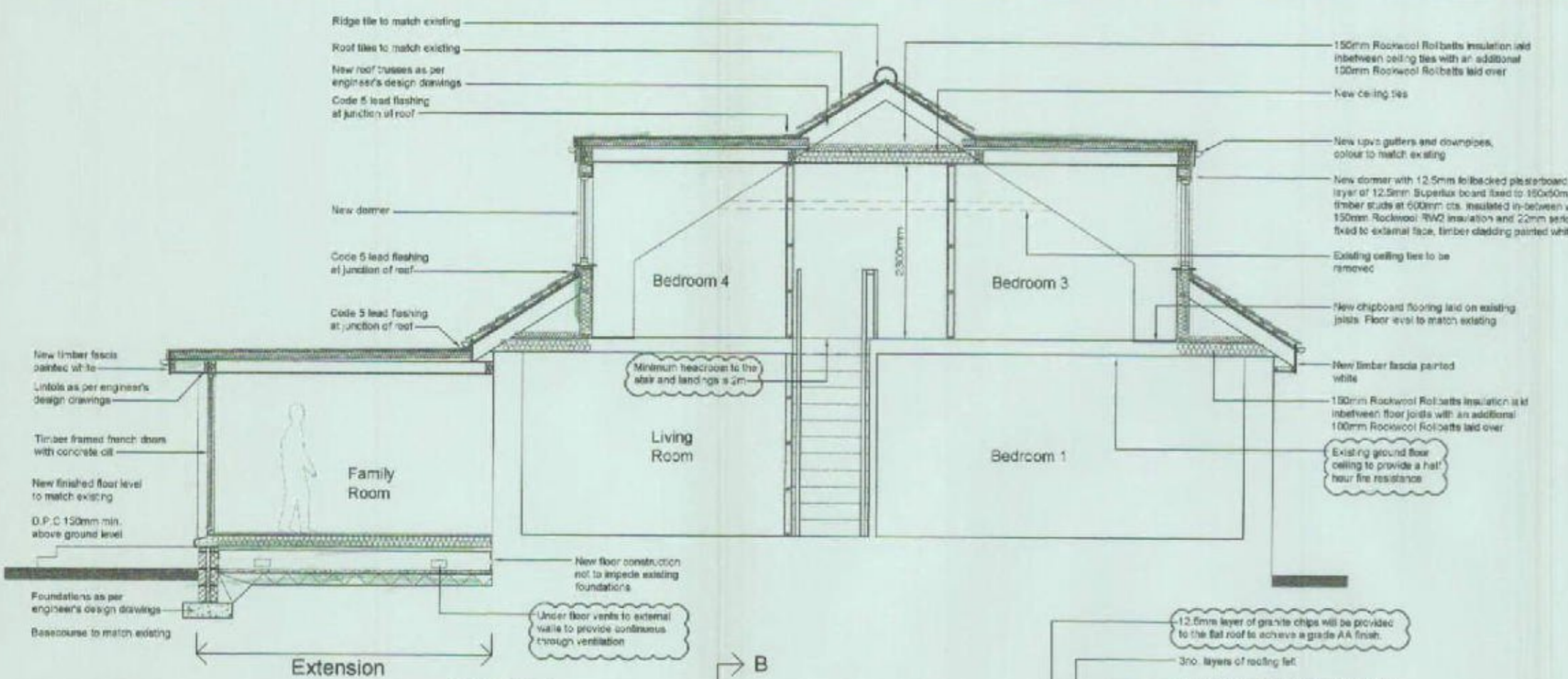


Hiped Roof Extensions

Wall-head gables

A wall-head gable commonly has a centre window, with flues passing each side within the masonry to a common central chimney. It would be essential for any such feature to be constructed in the same material as the wall below. Wall-head gables have a strong visual impact which could substantially alter the character of a building. They are therefore unlikely to be acceptable on listed buildings, but might be accepted in conservation areas or on other older buildings of a traditional character.

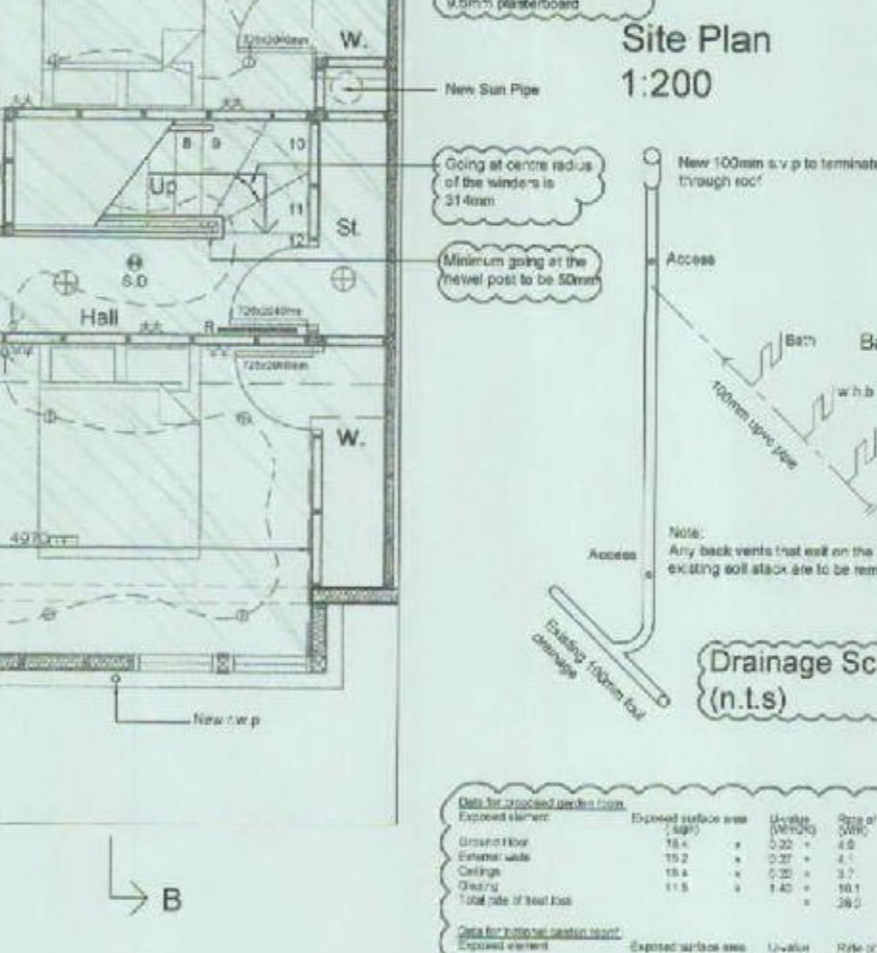
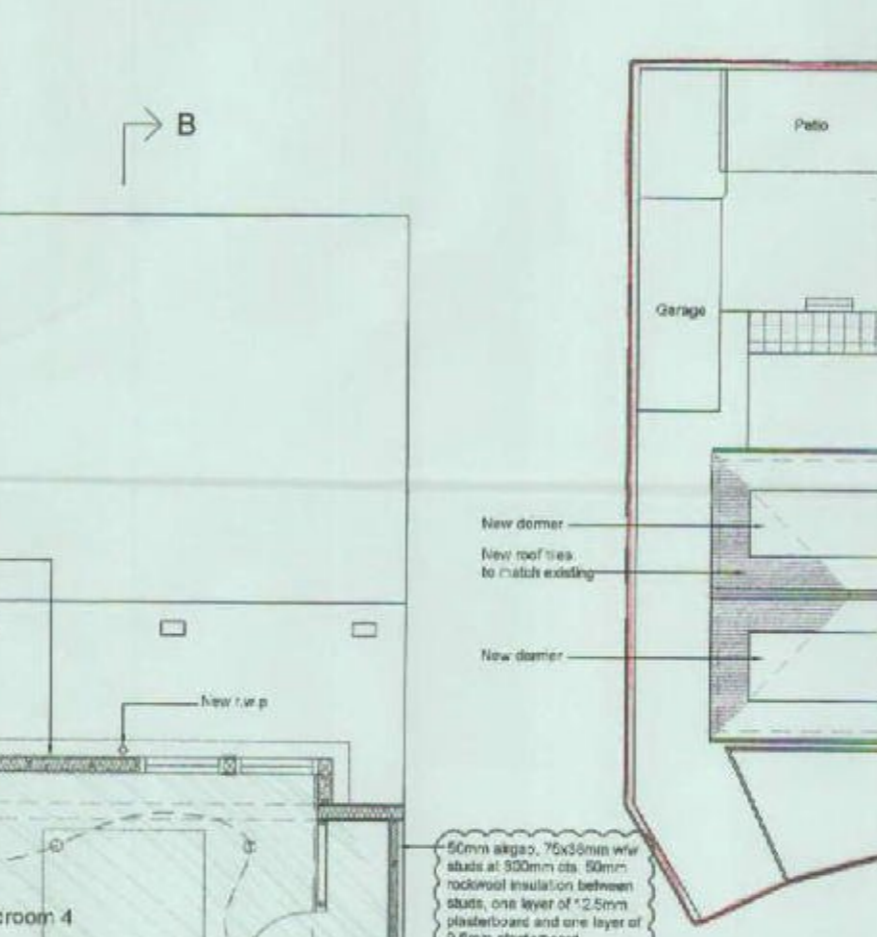
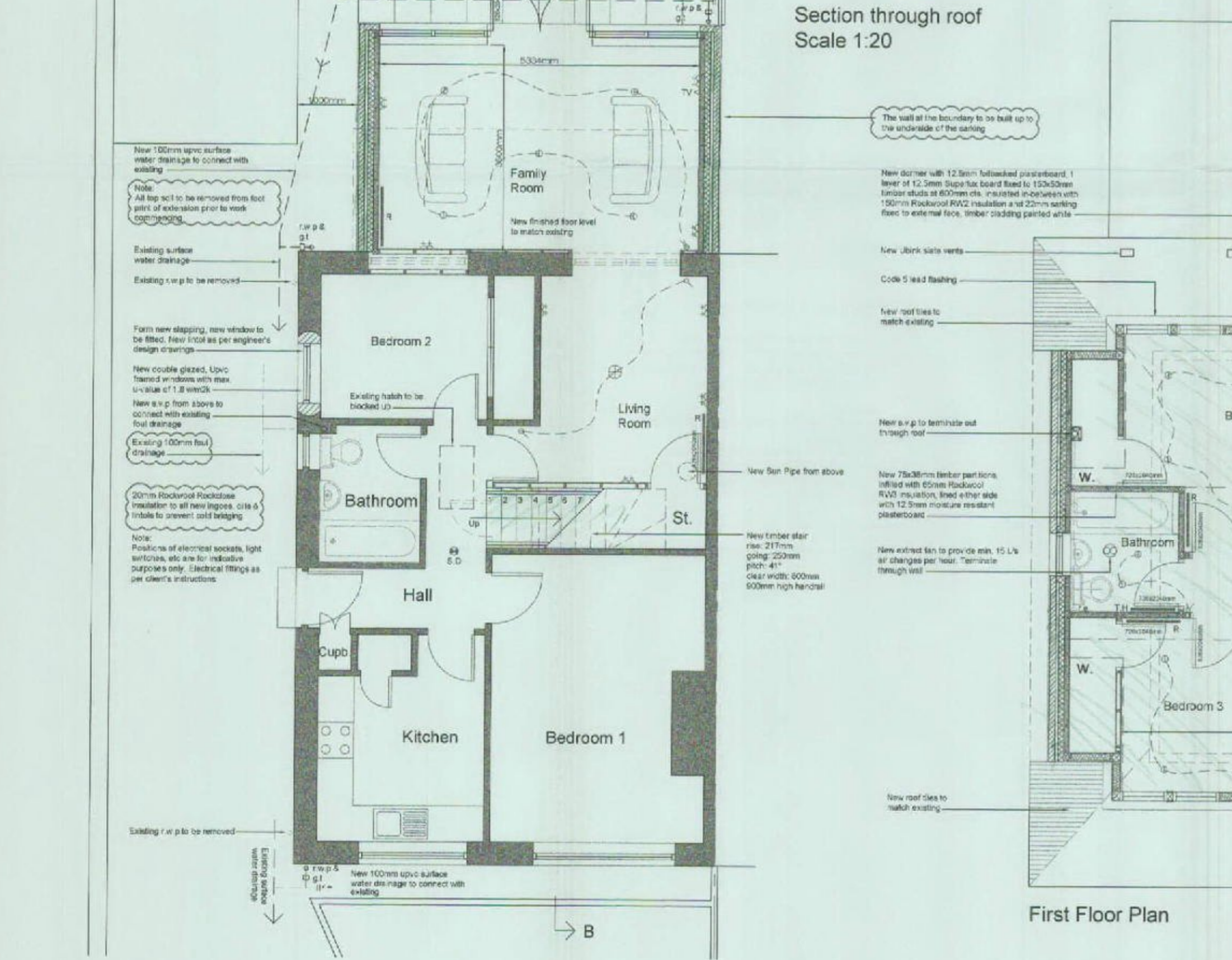
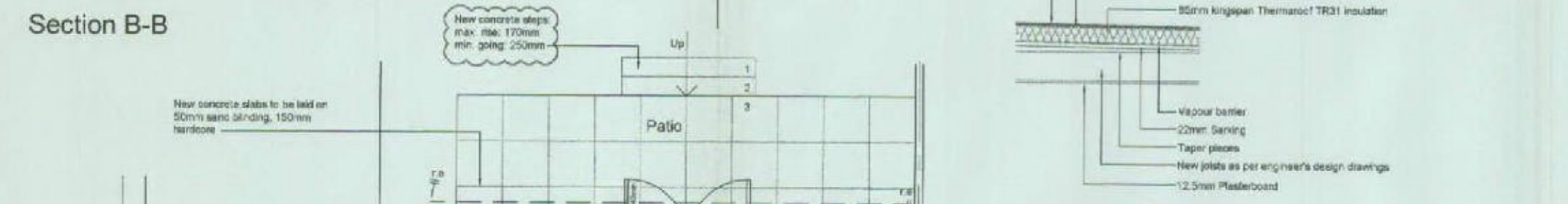




Key

⊕	Pendant Light Fitting	— R	Radiator
⊖	Light Switch	⊖	Extract Fan
⊕	Low Level 13amp Twin Socket	⊖	Recessed spot lights
⊕	High Level 13amp Twin Socket	⊖	Spur Outlet
⊕	Smoke Detector		

Construction Notes and Specifications:
 Concrete floor slabs, brick footings all in accordance with structural engineers specification.
Roofing:
 New Family Room Ground Floor Construction:
 220mm thick moisture resistant chipboard flooring, timber joists as per engineer's requirements with 80mm Kingspan Kooltherm HD insulation between joists held in place with support battens, 150mm solum wood, Vapourshield 2000 D.P.M., 150mm hardcore, dpc taken up from dpm 150mm above ground level as indicated. Allow for well graded granular material to make up levels if topsoil found to be deep.



Roofing:
 New External Walls:
 200mm render, 100mm blockwork outerleaf to match existing, 50mm cavity, 100mm blockwork innerleaf, 75x300mm timber studs at 600mm with 65mm Kingspan TW85 insulation between, 12.5mm Gyproc plasterboard.
Internal wall construction:
 75 x 300mm timber studs at 600mm centres with 12.5mm plasterboard, with taped joints, on each side. Partitions to first floor bathroom to be insulated with 75mm Rockwool RW2 insulation and lined with moisture resistant plasterboard.
Roof construction:
 Roof tiles to match size & colour of existing. Tiles to be fixed on 22x35mm s.w. battens on 22x35mm s.w. counter battens, one layer of Proctor Roof Shield vapour check (50% moisture resistance & roof ventilation), 18mm sarking board with 100mm gaps (sarking board to be 150mm wide and preservative treated), 60mm sarking, 150mm Kingspan K7 insulation, roof trusses as per engineer's design drawings at 800mm centres, 150mm Rockwool RW2 insulation between ceiling ties with 100mm Rockwool RW2 insulation laid over, 12.5mm plasterboard. Flashing arrangements at all roof junctions to be formed in place. Refer to structural engineer's drawings for all structural information.

Family Room roof construction:
 12.5mm plasterboard, roof joists as per engineer's design drawings, 60mm taper pieces, 22mm sarking board, vapour barrier, 85mm Kingspan Thermaflex TR31 insulation, 3no. layers of roofing felt, 12.5mm layer of granite chips will be provided to the flat roof to achieve a grade AA finish.

Domer roof:
 New domer roof construction to comprise of 12.5mm plasterboard, roof joists as per engineer's design drawings, 60mm taper pieces, 22mm sarking board, vapour barrier, 85mm Kingspan Thermaflex TR31 insulation, 3no. layers of roofing felt, 12.5mm layer of granite chips will be provided to the flat roof to achieve a grade AA finish.

Domer walls:
 Domer walls to be lined internally with 12.5mm foilbacked plasterboard, 1 layer of 12.5mm Buserite board (to provide fire resistance) fixed to 150x50mm new timber studs at 600mm c/s insulated in-between with 150mm Kingspan Kooltherm HD insulation and lined externally with 22mm sarking fixed to exterior of frame, timber cladding painted white.

Windows:
 Windows provided using one layer Proctor Roof Shield within roof construction as described above. All opening windows to have permanent fitted to allow 10,000mm² adjustable fresh air inlet.
Underfloor Ventilation to Garage Room:
 Permanent ventilation of the underfloor space directed to the outside air by ventilators to provide an open area in each wall of either 1500mm² for at least every metre run of the wall or 500mm² for at least every square metre of floor area.

Windows:
 All new upvc framed windows to be double glazed till & turn with panements as indicated. All glazing below 800mm to be toughened and comply with BS6262. Bedroom windows to comply with requirements for emergency escape windows and to have all height between 500 - 1100mm with minimum opening dimension of 450mm wide x 400mm high.

Drainage:
 Manholes to be Maifly 600 square shallow access inspection chambers 600 x 1000mm deep as required where depth allows, otherwise constructed to BS5391. Upvc gullies & coverplates to match existing. Flexible bracket spading not to exceed 1m centres & fixed to face as per manufacturer's instructions. All drainage to comply with BS8800. 150mm thick concrete seal and below level of pipes. All foul drainage to be as indicated in upvc pipe by manley, all in accordance with manufacturer's instructions. All pipes to be laid & surrounded in pea gravel (rounded) class 5. Drains to have turned up bend. Pipes to be sleeved or lapped where passing through external walls.

Plumbing:
 Main water piping: Contractor designed gas boiler/hot water system. Heating to be low pressure hot water gas system with thermostatic controls. Radiators to each room and outside. System to be designed and carried out by contractor. Boiler control to be programme, room stat. TRVs to each for combustion and cooling. Device to be fitted to new bath to limit temperature to 49 degrees centigrade at point of delivery to prevent scalding.

Electricity:
 All new electrical to be carried out in accordance with BS 7871:200. Smoke alarms to comply with BS 5446 Part 1:1996. Located as shown on both floor levels. Alarms to be interconnected so that detection of fire on any one will operate signal to all detectors. Spur outlets to be provided for the cooker, washing machine and dishwasher situated to the rear of the same, and independently earthed.

Windows:
 All new plasterboard fittings to be sealed & taped. All new skirting boards to be painted and have profile to match existing. All window sills to be painted to match existing.

General construction notes:
 All walls and surface fittings to have 30 mins fire resistance. All exposed hot water and heating pipes to be insulated. All glazing in doors and side lights below 1600mm to be in accordance with BS 6262 Part 4:1994. All external and loadbearing walls and first floor construction to be 30 mins fire resistant. All bedroom windows to be suitable as emergency escape windows. **Decorative finishes:** To be fixed to all windows and doors.

Labeling:
 Where a hearth, fireplace (including a flue box) or system chimney is provided, information essential to the correct application and use of these facilities should be prominently posted in the dwelling to alert future visitors to the configuration of the installed system. Labels should be indelibly marked and contain the following information: the location of the hearth, fireplace or flue box or the location of the beginning of the flue. A chimney designation string in accordance with BS EN 1443:2003. The category of the flue and generic types of appliance that can safely be accommodated. The type and size of the flue. The installation date. Labels should be located in a position that will not easily be obscured such as adjacent to: gas or electricity meter, water supply stopcock or the chimney or hearth. A label should be provided similar to the example shown in the Building Regulations (note: every appliance installation must have a suitably positioned label).

Note:
 Heating, hot water and ventilation in a dwelling should be inspected and commissioned in accordance with the manufacturer's instructions to ensure optimum efficiency. Written information should be made available for the use of the occupier on the operation and maintenance of the heating and hot water systems to encourage optimum efficiency. An energy performance certificate will be required prior to any completion certificate being issued.

U-values:
 U-Values for windows to bedrooms 2, 3 & 4 and new bathroom to be maximum of 1.0 W/m²K. U-Values for windows and doors to Family Room to be 1.4 W/m²K. See separate sheets for U-Value calculations for walls, floors & roofs.

Data for proposed garden room:

Element	Exposed surface area (m ²)	U-value (W/m ² K)	Rate of heat loss (W)
External wall	19.4	0.22	4.6
Roofing	19.2	0.22	4.2
Ground	19.4	0.22	4.2
Windows	11.5	1.40	16.1
Total rate of heat loss			29.1

Data for proposed garden room:

Element	Exposed surface area (m ²)	U-value (W/m ² K)	Rate of heat loss (W)
Ground Floor	18.4	0.22	4.0
External wall	18.2	0.22	4.0
Roofing	18.4	0.22	4.0
Glazing (20% of new floor area - existing canopy)	18.2	1.80	32.8
Total rate of heat loss			50.8

PRINCIPAL PLAN

MR KELVIN PARK
 19 NORTHHOOTE CRESCENT, ABERDEEN
 PROPOSED PLANS, ELEVATIONS & SECTION
 DATE: APRIL 2008
 SCALE: 1:50 @ A1
 DRAWING NO: 2463_04B

Signed (authorised Officer(s)):

19 NORTHCOTE CRESCENT, ABERDEEN

FORMATION OF STRAIGHT GABLE,
ERECTION OF REAR EXTENSION AND
DORMERS TO FRONT AND REAR
ELEVATIONS.

For: Mr Kelvin Park

Application Type : Detailed Planning
Permission

Application Ref. : P151470

Application Date : 07/09/2015

Advert :

Advertised on :

Officer : Ross McMahon

Creation Date : 12 November 2015

Ward: Airyhall/Broomhill/Garthdee (A
Taylor/G Townson/I Yuill)

Community Council: No response received

RECOMMENDATION:

Approve Unconditionally

DESCRIPTION

The application site located on the south side of Northcote Crescent extends to 303sq.m and is occupied by a one-and-a-half storey semi-detached dwellinghouse set within an established residential area. A detached single garage is located to the rear (south-east) of the property and is accessed from Northcote Crescent via a single driveway. The property has previously been extended to the rear by way of a conservatory. The footprint of the existing dwelling and detached single garage results in a site coverage of approx. 34%. The site remains relatively flat throughout from Northcote Crescent to the rear (south-west) of the site, and is demarcated by a c. 1.5m high blockwork wall to the rear (south-east) boundary and c. 1.5m-1.8m high timber fence to north-west and south-east boundaries, in addition to small trees and hedges. The site is identified as a residential area in the adopted Aberdeen Local Development Plan 2012.

RELEVANT HISTORY

None.

PROPOSAL

Planning permission is sought to alter the existing hipped roof by forming a gable extension to the side (south-east) elevation of the property to create additional bedroom accommodation and a bathroom at upper floor level. The proposed hip-to-gable extension which would follow the existing ridge line/height through by an additional 5.1m, giving an overall length of approx. 7.3m. It is proposed to form a small 600x900mm window to the proposed end gable which would serve a bathroom at upper floor level. The proposed roof/gable extension would be finished in concrete interlocking roof tiles; wetdash render; white timber facia boards and grey PVCu rainwater goods to match the existing property materials.

In addition to the roof extension, it is proposed to form a box dormer to both the front (north-east) and rear (south-west) elevations of the existing property to accommodate additional bedroom space. Both dormers would be flat roofed, identical in form and appearance, and would measure 5.2m wide, 1.9m in height and would be positioned 900mm from the existing and proposed roof ridge, 1m from the proposed end gable, 1.2m from the existing eaves and 750mm from the adjoining property. It is proposed to finish both dormers in timber cladding to the proposed infill panels and dormer haffits, white painted timber facia boards, PVCu tilt-and-turn windows and grey rainwater goods to match the existing property materials.

Consent is also sought for the erection of a single storey extension to the rear of the property which would accommodate a new family room at ground floor level and would replace the existing conservatory. The single storey extension would measure 6m wide with a projection of 3.8m from the rearmost part of the rear elevation of the existing property. The extension would be flat roofed, measuring 2.6m to the underside of the proposed eaves with an overall height of 2.9m and would be finished in wet-dash render to match the existing dwelling, roofing felt, white painted timber facia boards and PVCu framed windows and doors.

Supporting Documents

All drawings and the supporting documents listed below relating to this application can be viewed on the Council's website at -

<http://planning.aberdeencity.gov.uk/PlanningDetail.asp?ref.=151470>

On accepting the disclaimer enter the application reference quoted on the first page of this report.

CONSULTATIONS

Roads Projects Team – No observations.

Environmental Health – No observations.

Communities, Housing and Infrastructure (Flooding) – No observations

Community Council – No comments received.

REPRESENTATIONS

None received.

PLANNING POLICY

Aberdeen Local Development Plan

Policy D1 – Architecture and Placemaking

To ensure high standards of design, new development must be designed with due consideration for its context and make a positive contribution to its setting. Factors such as siting, scale, massing, colour, materials, orientation, details, the proportions of building elements, together with the spaces around buildings, including streets, squares, open space, landscaping and boundary treatments, will be considered in assessing that contribution.

Policy H1 – Residential Areas

Within existing residential areas (H1 on the Proposals Map) and within new residential developments, proposals for new residential development and householder development will be approved in principle if it:

1. does not constitute overdevelopment;
2. does not have an unacceptable impact on the character or amenity of the surrounding area; and
3. complies with Supplementary Guidance contained in the Householder Development Guide.

Supplementary Guidance

Householder Development Guide

Proposed Aberdeen Local Development Plan

The following policies substantively reiterate policies in the adopted local development plan as summarised above:

D1 – Quality Placemaking by Design (*D1 – Architecture and Placemaking in adopted LDP*);

H1 – Residential Areas (*H1 – Residential Areas in adopted LDP*).

EVALUATION

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 (as amended) require that where, in making any determination under the planning acts, regard is to be had to the provisions of the development plan and that determination shall be made in accordance with the plan, so far as material to the application, unless material considerations indicate otherwise.

Principle of Development

The application site is located within an area zoned for residential use in the adopted Aberdeen Local Development Plan 2012, and relates to an existing dwelling. The proposed hip-to-gable extension, single storey rear extension and front and rear dormers are therefore acceptable in principle subject to an acceptable form and appearance, notwithstanding the potential impact on residential amenity. In determining what constitutes an acceptable form of garage, the aforementioned local planning policies will be of relevance.

Design, Scale & Massing

The overall projection of extensions to the rear of semi-detached properties are limited to 4m where they project along a common boundary. General principles expect that extensions and alterations to domestic properties are architecturally compatible in design and scale with the original house and surrounding area, materials should be complementary and any development should not overwhelm or dominate the original form or appearance of the dwelling house.

The proposal would result in an increase in site coverage to 38%, which is considered to be acceptable within the context of the surrounding area. This is in line with the Council's aforementioned supplementary guidance on householder development, in that the proposal would not double the existing footprint of the original dwelling, and at least half of the rear garden ground would remain.

The Council's Supplementary Guidance: Householder Development Guide – in relation to hipped roof extensions – states that modifying one half of a hipped roof is likely to result in the roof having an unbalanced appearance. The guidance goes on to state that the practice of extending a hipped roof on one half of a pair of semi-detached houses to terminate a raised gable will not generally be acceptable unless the other half of the building had been altered in such a way; or such a proposal would not, as a result of the existing streetscape and character of the buildings therein, result in any adverse impact on the character or visual amenity of the wider area.

It is noted that no. 21 Northcote Crescent – the adjoining semi-detached property – maintains its original hipped roof. Therefore, the principle of extending the roof to form a gable end the application site can only be considered to be acceptable providing that the extended property would not have an adverse impact on the character or visual amenity of the wider area. In this regard, the following points are noted.

Northcote Crescent is predominantly characterised by semi-detached properties which feature a both original and altered gable roofs and hipped roofs. At present, there are three pairs of semi-detached properties have formed gable extensions to their roofs. The remaining semi-detached properties found within the street have been design and constructed with original gable ends. As the street is predominantly characterised by semi-detached properties with both

original gables ends and altered hipped roofs forming gable ends, it is not considered that the proposed hip-to-gable extension to no. 19 Northcote Avenue would adversely impact the overall character of the streetscape or the visual amenity of the wider area generally.

All remaining elements of the proposal are considered to be subservient and secondary to the property by way of their size, scale and overall height in relation to the existing dwelling. The proposed rear extension complies with the aforementioned guidance in respect of projection and is considered to integrate with and complement the existing building in terms of design, roof profile and materials used for the external finishes, and is acceptable within the context of surrounding properties.

The Council's Householder Development Guide sets out guidance relating to dormer windows and roof extensions and seeks to encourage proposals which respect the scale of the building and that do not dominate, overwhelm or unbalance the original roof, and discusses specific criteria for assessing such proposals.

The proposed front and rear dormer has been found to comply with the Council's supplementary guidance on dormer extensions for the following reasons:

- The proposed front and rear dormer would not – by virtue of their position, size, scale and massing – dominate the original roof space of the existing property;
- Both dormers would be appropriately positioned on the roof slope and would be set an acceptable distance from the existing ridge, eaves and gable of the property;
- The outermost windows would be positioned at the extremities of the dormer;
- There would be more glazing than solid on the face of the proposed dormer;
- The proposed materials would match those of the original building as far as reasonable practicable and would replicate materials to the majority of dormers found throughout Northcote Crescent.

The design of the proposed dormers is considered to be acceptable within the context of the surrounding properties in terms of scale and design and is considered to blend with the existing architectural character of the existing dwelling. While both dormers would be viewable from sections of Northcote Crescent, it is considered that their formation would have little impact on the visual amenity of the streetscape, given the number of similarly design dormers to the front and rear of adjacent semi-detached properties. In this instance the proposal is considered to meet the requirements of the above guidance.

Residential Amenity Impact

Additionally, no development should result in a situation where amenity is 'borrowed' from an adjacent property. Since daylight is ambient, the calculation is applied to the nearest window serving a habitable room. Using the "45 degree rule" as set out in the British Research Establishment's Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice', calculations indicate that all neighbouring properties are located sufficiently distant from the proposed extension to ensure no significant detrimental impact in terms of loss of daylight to habitable windows.

Turning to the impact to adjacent properties in terms of overshadowing, the orientation of the proposed extension and its distance are important factors. Calculations indicate that due to the size, form and orientation of the proposal, there would not be any additional impact relating to overshadowing of private rear garden ground to surrounding properties.

All proposed extension doors and windows located at ground floor level would not directly face the habitable room windows of neighbouring properties, and the rear garden is well screened to all boundaries, therefore there would be no additional impact in terms of loss of privacy at ground level. The boundary treatment (high hedges and timber fence) between 19 and 21 Northcote Avenue is such that the formation of a dormer to the rear of the property would not give rise to unacceptable levels of overlooking to rear garden ground. Additionally, no properties or rear gardens back onto the rear (south-west) of the site and as such, there are no concerns with regard to overlooking in this respect.

Proposed Aberdeen Local Development Plan

The Proposed ALDP was approved at the meeting of the Communities, Housing and Infrastructure Committee of 28 October 2014. It constitutes the Council's settled view as to what should be the content of the final adopted ALDP and is now a material consideration in the determination of planning applications, along with the adopted ALDP. The exact weight to be given to matters contained in the Proposed ALDP (including individual policies) in relation to specific applications will depend on whether:

- these matters have been subject to public consultation through the Main Issues Report; and
- the level of objection raised in relation these matters as part of the Main Issues Report; and
- the relevance of these matters to the application under consideration

The foregoing can only be assessed on a case by case basis. In relation to this particular application, the policies in the Proposed ALDP substantively reiterate those in the adopted local development plan and the proposal is considered to be acceptable in terms of the relevant policies set out in the Proposed ALDP.

Conclusion

To summarise, the all elements of the proposal are considered to be secondary to the existing property by way of their size, scale, position and overall height, and are acceptable in terms of design, scale and massing. The majority of the proposal would be readily viewable from a public vantage point however would not have an adverse impact on the character of the streetscape. It is not considered that the proposal would have an unacceptable impact on residential amenity to surrounding properties.

For the above reasons, the proposal is considered to comply with the relevant policies and associated supplementary guidance contained within the adopted Aberdeen Local Development Plan 2012. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that there are no material planning considerations – including the Proposed Aberdeen Local Development Plan – that would warrant refusal of the application.

RECOMMENDATION

Approve Unconditionally

REASONS FOR RECOMMENDATION

All elements of the proposal are considered to comply with the relevant policies of the Aberdeen Local Development Plan 2012, namely Policies D1 (Architecture and Placemaking) and H1 (Residential Areas) and the relevant sections of the Council's Supplementary Guidance: Householder Development Guide in that the proposal has been designed to respect the scale and form of the existing dwelling and in addition there would be no significant detrimental impact on the existing visual or residential amenities of the area. On the basis of the above, and following on from the evaluation under policy and guidance, it is considered that there are no material planning considerations – including the Proposed Aberdeen Local Development Plan – that would warrant refusal of the application.

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